

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

AUGUST 29, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2023-025 (HENRY LEE)**

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

(2) **SP2023-026 (HENRY LEE)**

Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

(3) **SP2023-027 (HENRY LEE)**

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

(4) **SP2023-028 (RYAN MILLER)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(5) **SP2023-029 (HENRY LEE)**

Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

(6) **SP2023-030 (HENRY LEE)**

Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing Motor Vehicle Dealership (*i.e. Clay Cooley Hyundai*) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 25, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-025
PROJECT NAME: Site Plan for 1408 S Goliad Street
SITE ADDRESS/LOCATIONS: 1408 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

I.5 As long as no easements are added or adjusted then the subject property will not need to be replat.

M.6 In lieu of the Material Sample Board, please provide pictures of the Gym and indicate the proposed building will match. (Subsection 03.04. A, of Article 11, UDC)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

M.8 Site Plan:

- (1) Please clarify if all of the portables are to be removed. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please correct the zoning callout to MF-14 not AG. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please indicate the fire lane as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please indicate the building setbacks. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please indicate the drive/turn radii. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please indicate the location of any proposed/existing fire hydrants. (Subsection 03.04. B, of Article 11, UDC)
- (7) Parallel parking spaces are 9x22. (Subsection 05.03, of Article 06, UDC)
- (8) Is there any proposed or existing fencing? If so, please indicate the type and height. (Subsection 08.02. F, of Article 08, UDC)
- (9) Is there any proposed ground mounted or roof mounted utility equipment? If so, please indicate them and the subsequent screening. (Subsection 01.05. C, of Article 05, UDC)
- (10) Please clarify if the existing dumpster will be used for this building. (Subsection 01.05. B, of Article 05, UDC)
- (11) Please indicate that there will be no outside storage. (Subsection 03.04. B, of Article 11, UDC)

M.9 Landscape Plan & Treescape Plan:

- (1) It appears that a few trees may be removed with the proposed building. If so, please provide a Treescape Plan and a subsequent Landscape Plan. These plans may be combined, however the treescape table and landscape tables must both be provided. If no trees are to be removed, please clarify this. (Subsection 01.08, of Article 05, UDC)

M.10 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
- (2) The 0.2 FC requirement exceeds at the S. property line. Please correct this. (Subsection 03.03. G, of Article 07, UDC)
- (3) No light pole, base or combination thereof, or wall pack shall exceed 20 feet. Please indicate the pole heights and mounting heights. (Subsection 03.03. D, of Article 07, UDC)
- (4) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully screened. (Subsection 03.03, of Article 07, UDC)

M.11 Building Elevations:

- (1) Exterior walls should consist of 90% masonry materials excluding doors and windows. This will be a variance. (Subsection 06.02. C, of Article 05, UDC)
- (2) At least 20% natural or quarried stone shall be utilized on each façade. This will be a variance. (Subsection 06.02. C, of Article 05, UDC)
- (3) Per the four (4) sided architecture requirements in the overlay district, each façade is a primary façade. Given this, the wall length requirement on the north and south façades do not meet the requirements (Wall Length = 3 x Building Height). This will be variance to the primary articulation. (Subsection 04.01. C, of Article 05, UDC)

I.12 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] 90% masonry, [2] 20% stone, and [3] primary articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

- 08/25/2023: 1. Where's the rest of the drive aisle?
 2. 20' R with BFR.
 3. Label as proposed 5' sidewalk.
 4. No structures or overhangs will be allowed in this easement.
 5. Parallel parking to be 9'x22'.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- No retaining walls within easement.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Show existing detention pond.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed

Water and Wastewater Items:

- Public water or sewer to be 8" minimum.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- May need an on-site fire hydrant
- Need to show existing and proposed water and sewer on site plan

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways. If there, need to show

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

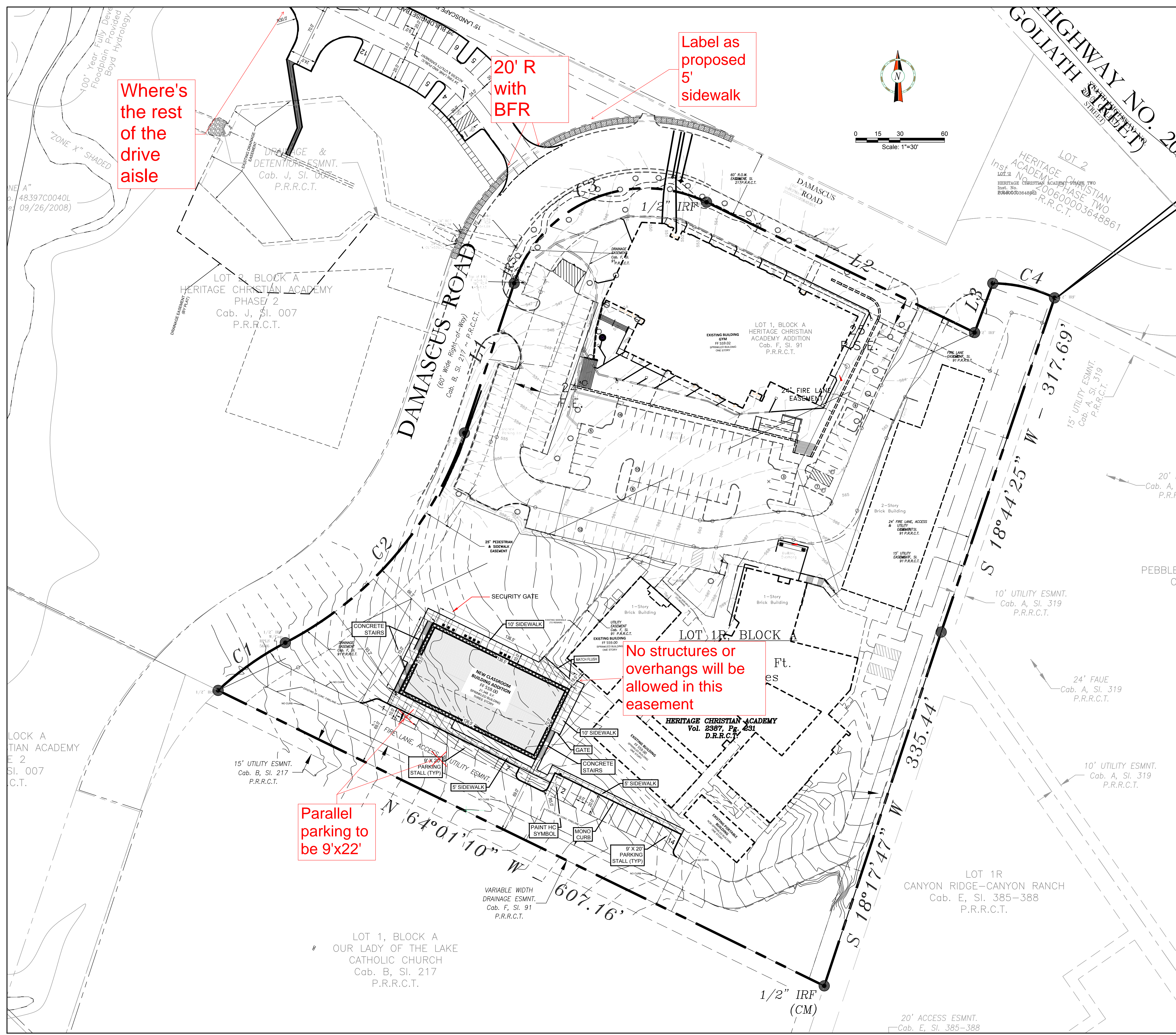
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	08/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. Per meeting minimal landscape needs other than turf and a few shrubs to match existing landscape
2. No tree mitigation needed



General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- No retaining walls within easement.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Show existing detention pond.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
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- Min 20' utility easements.
- May need an on-site fire hydrant
- Need to show existing and proposed water and sewer on site plan

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways. If there, need to show

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

ENGINEERING
 TEXAS REGISTRATION NUMBER F-303
 PHONE (972) 717-5151
 4500 FULLER DRIVE, SUITE 220
 IRVING, TEXAS 75038

GLENN
 059
 11/15/2023
 I am the document
 authorized by
 M. P.E. 35569
 11/15/2023

HCIA
 HERITAGE CHRISTIAN ACADEMY

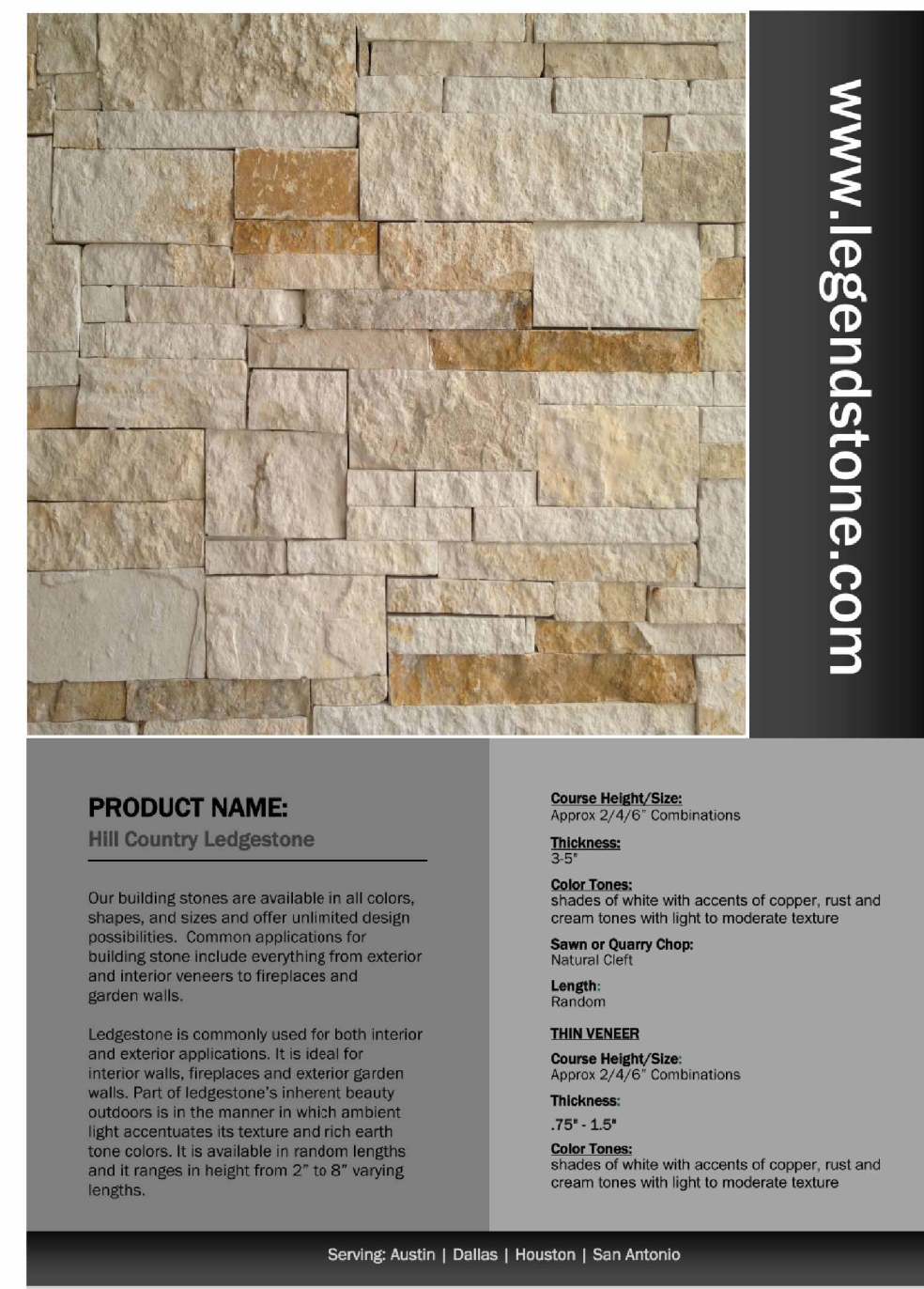
Rockwall, TX 75087

Dates:
 08/15/23
 RAH
 RMR
 2000.01

ALL
 PLAN

3.00

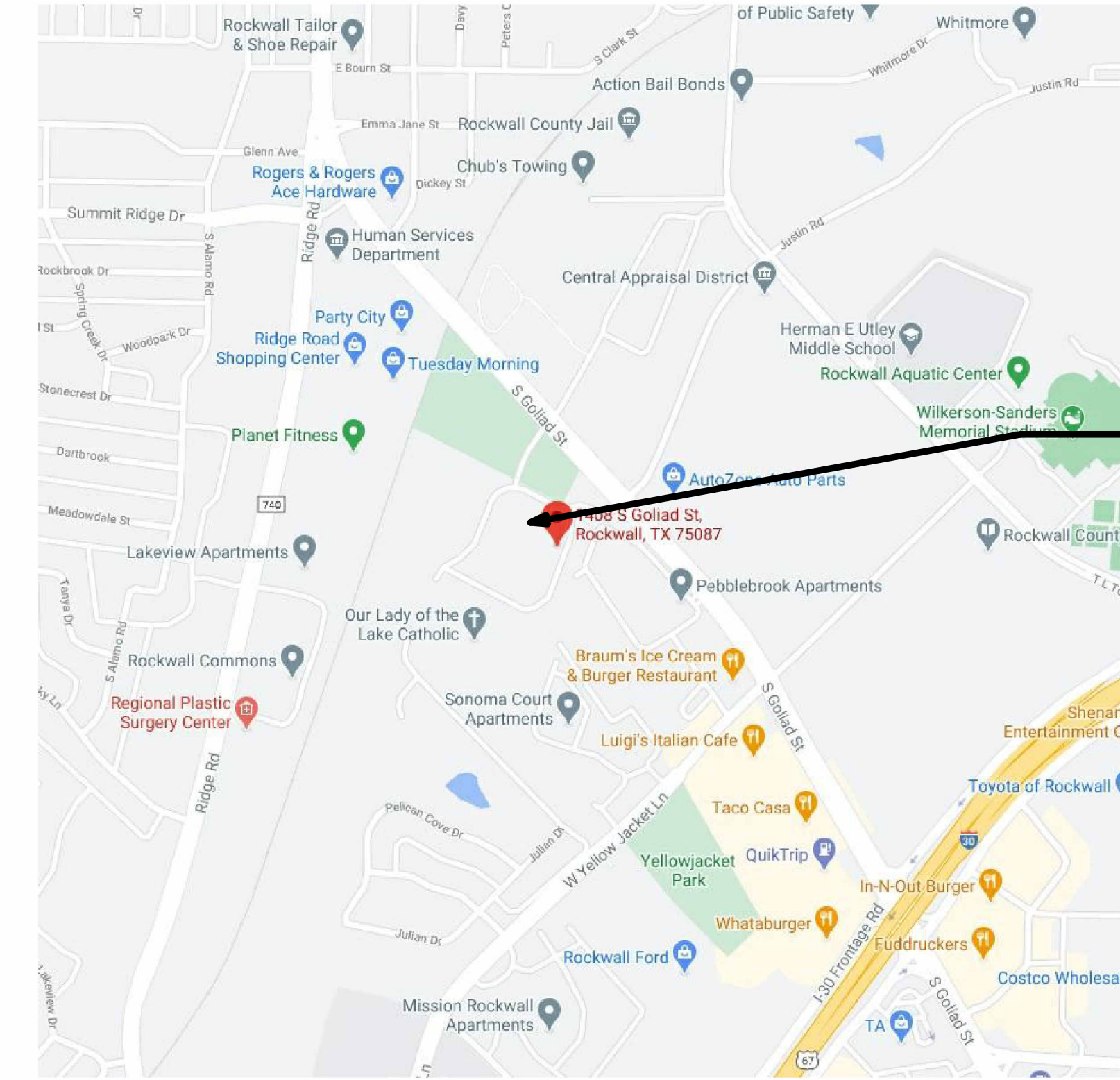
MATERIAL CALCULATIONS			AREA	%
NORTH ELEVATION				
MASONRY			4,173	
	BRICK		2,750	65.9%
	STONE		0	0.0%
METAL PANEL			1,425	34.1%
				100.0%
EAST ELEVATION				
MASONRY			2,526	
	BRICK		1,463	57.9%
	STONE		95	3.8%
METAL PANEL			968	38.3%
				100.0%
SOUTH ELEVATION				
MASONRY			5,742	
	BRICK		2,745	47.8%
	STONE		1,560	27.2%
METAL PANEL			1,435	25.0%
				100.0%
WEST ELEVATION				
MASONRY			2,642	
	BRICK		1,411	53.4%
	STONE		220	8.3%
METAL PANEL			1,012	38.3%
				100.0%



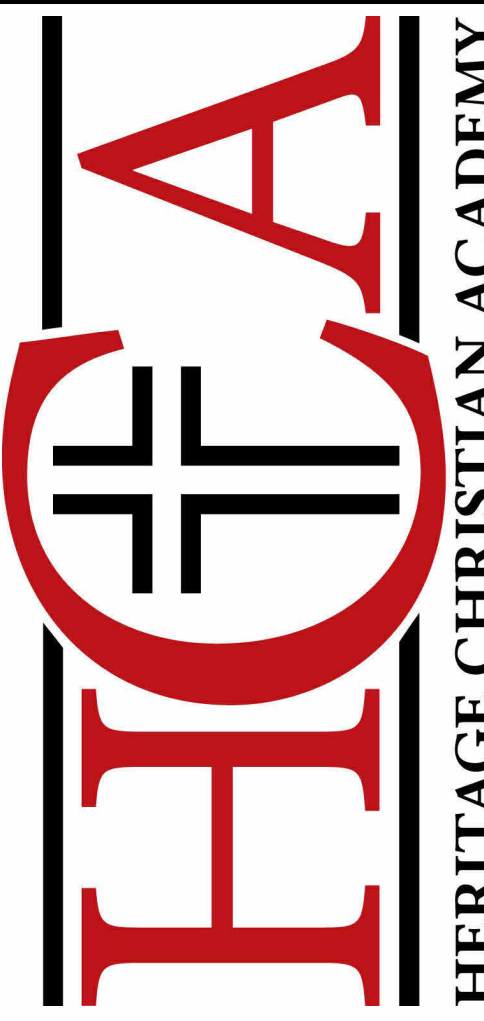
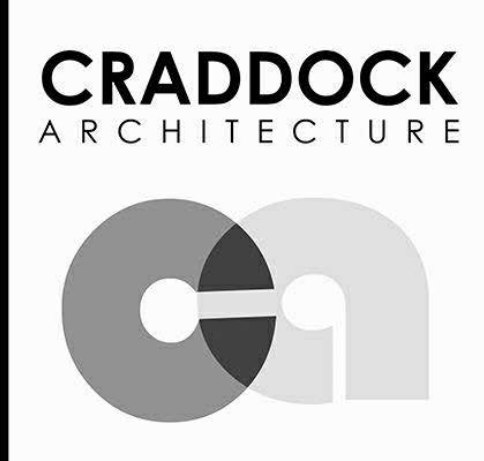
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



HERITAGE CHRISTIAN ACADEMY



CRADDOCK ARCHITECTURE
P. O. BOX #188 Rockwall, TX 75087 214-952-0527

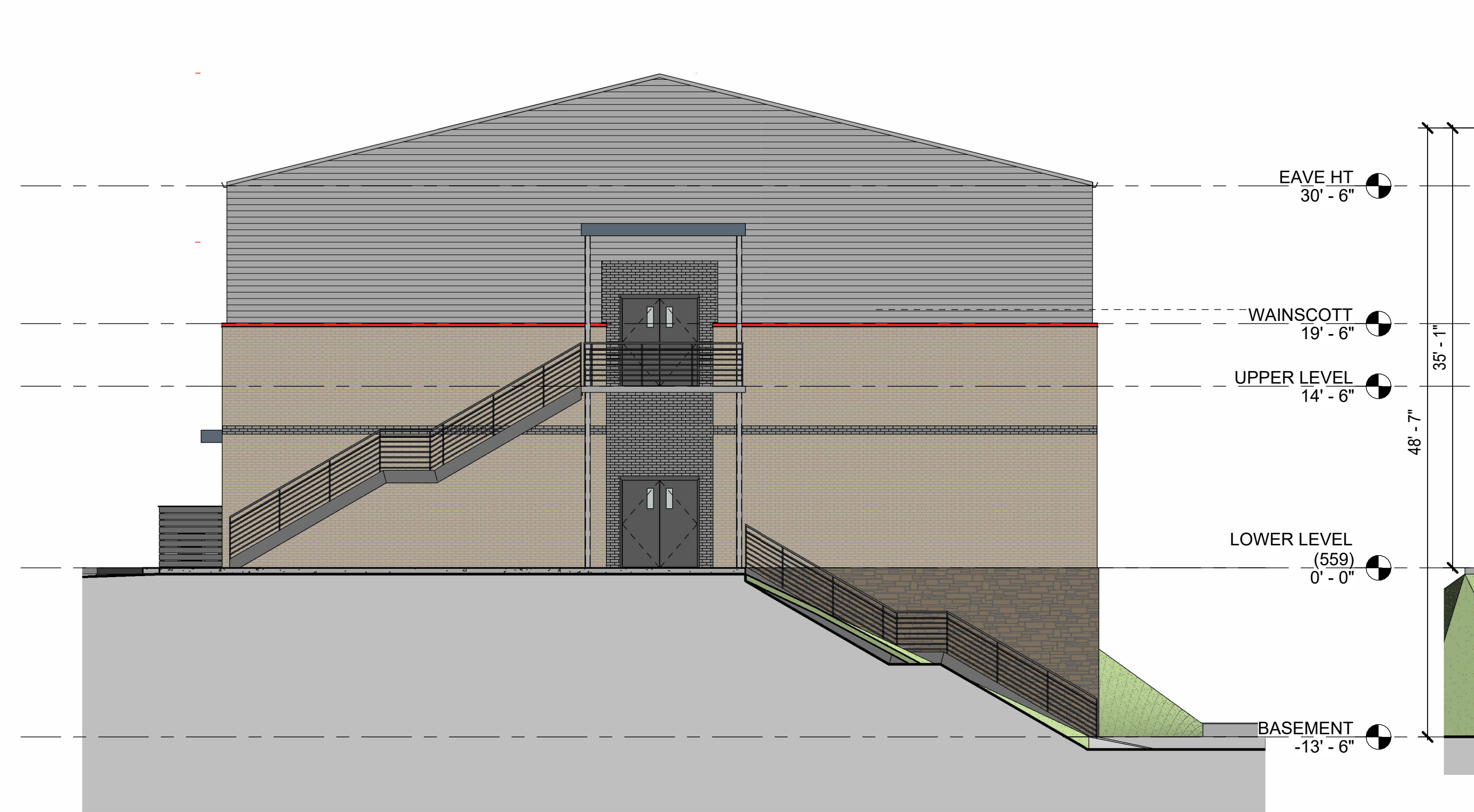
REVISION	
#	Revision Description

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG C"
Rockwall, Texas 75087

Project number 2023-014 Date 8/16/2023

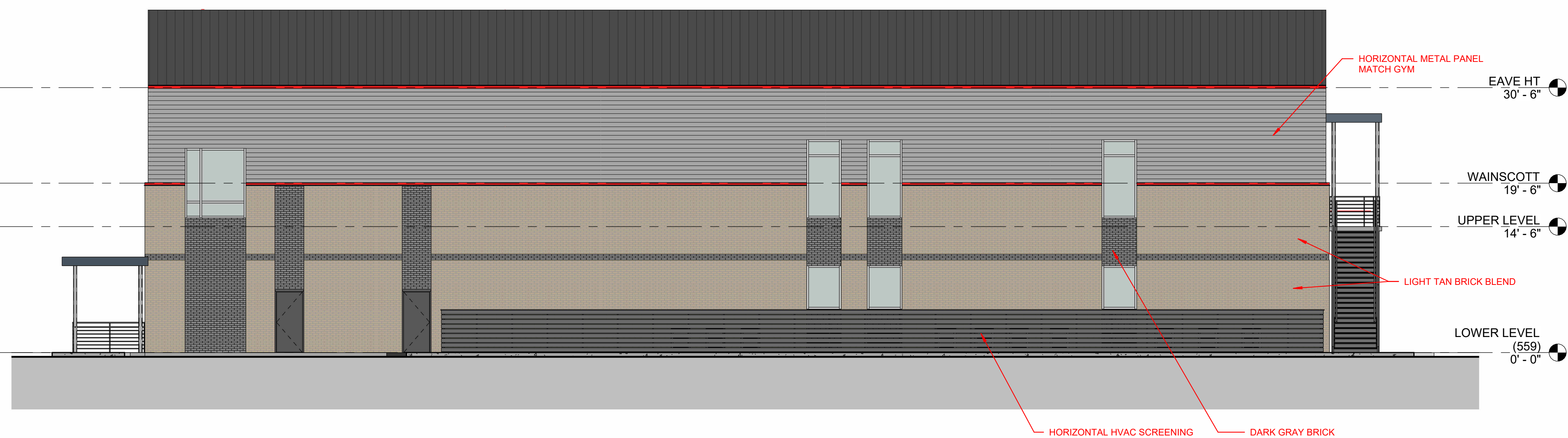
EXTERIOR ELEVATIONS

Scale: As indicated



4 WEST ELEVATION
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

2 EAST ELEVATION
1/8" = 1'-0"

8/16/2023 3:16:50 PM



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹ *1 acre = \$270*
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- ### OTHER APPLICATION FEES:
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1408 S. Goliad St, Rockwall, TX 75087

SUBDIVISION Subdivision Code: S3859

LOT 2 BLOCK A

GENERAL LOCATION Damascus RD, Rockwall, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-27

CURRENT USE private school

PROPOSED ZONING PD-27

PROPOSED USE private school

ACREAGE 6.626

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Heritage Christian Academy

APPLICANT Glenn Engineering

CONTACT PERSON Brad Helmer, Ed.D.

CONTACT PERSON Robert Howman

ADDRESS 1408 S. Goliad St.

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 972.772.3003

PHONE 972.989.2174

E-MAIL bhelmer@hcarockwall.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

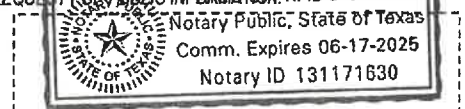
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRAD HELMER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION PRADO-BAESA

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF AUGUST, 2023.

OWNER'S SIGNATURE

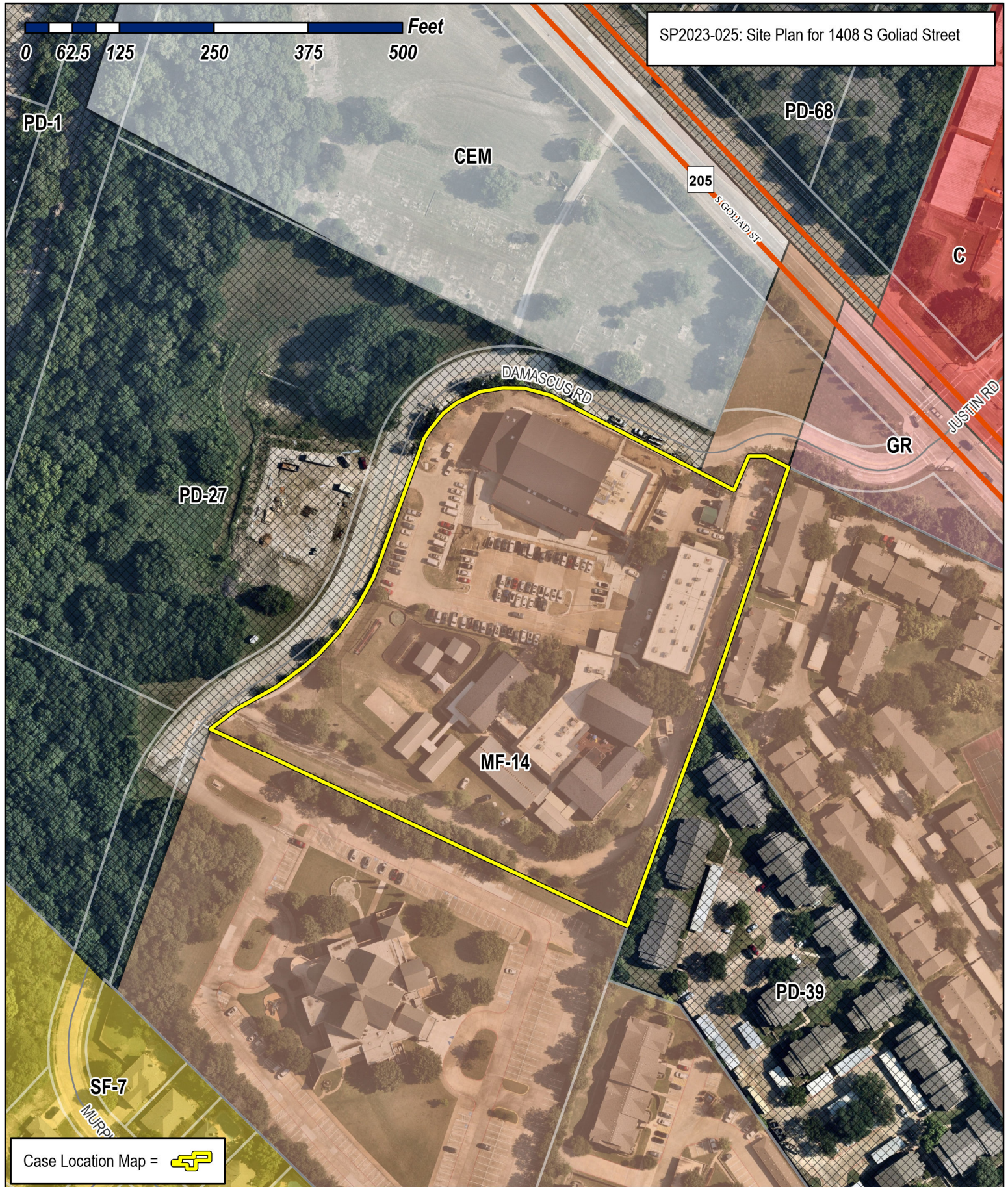
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 06-17-2025



SP2023-025: Site Plan for 1408 S Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CRADDOCK ARCHITECTURE, PLLC

P.O. BOX #188, ROCKWALL, TX 75087

Office: 2701 Sunset Ridge, Suite 601 Rockwall TX 75032

Phillip R. Craddock, AIA

Cell: 214.952.0527 •

www.craddockarchitecture.com

Attn:

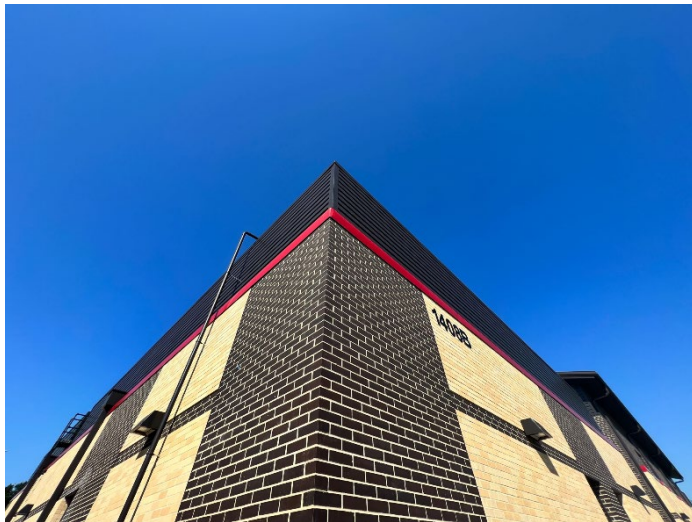
City of Rockwall planning Department.

Project:

Heritage Christian Academy, Classroom Building

Craddock Architecture, PLLC

The Design intent is to match the Character and design features of the Recently Constructed Gymnasium. We will be using the Same materials that were used on the Gym.



MASONRY VENEER:

ACME Brick:

M1: Westchester Smooth (Modular)

M2: 50/50 Blend of "152/154" (Modular)

STONE:

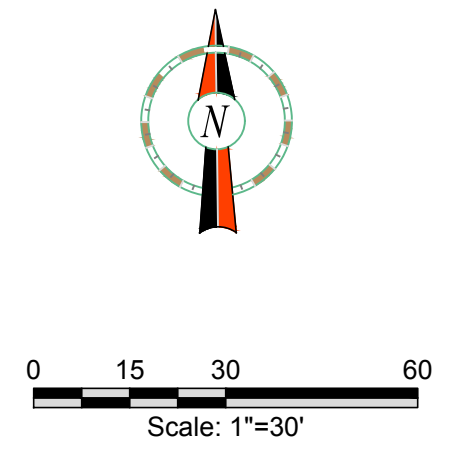
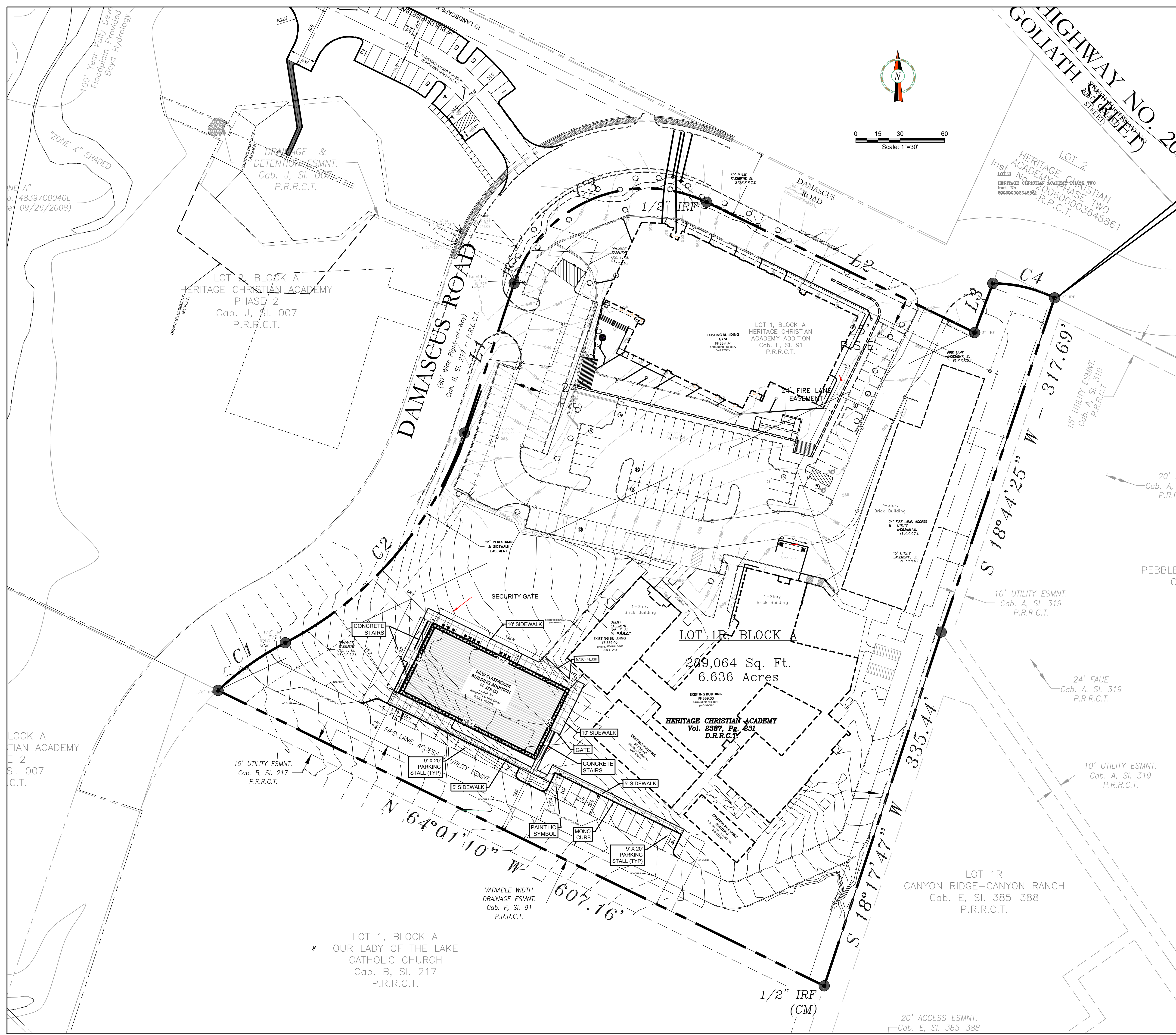
Natural Thin Stone Veneer at the base of the Building matching that used on the gym.

Horizontal Metal Siding:

Horizontal Ribbed Metal, Color to match existing on Gym.

Currently no retaining walls are planned. However, in the event any are needed they will match the stacked stone walls on site.





- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE FROM FACE OF CURB.
 - ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
 - PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
 - ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
 - IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
 - IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS TO CONSTRUCTION.
 - TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
 - MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION. NO PARKING FIRE LANE EVERY 25' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 - BARRIER FREE RAMP (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
 - ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.

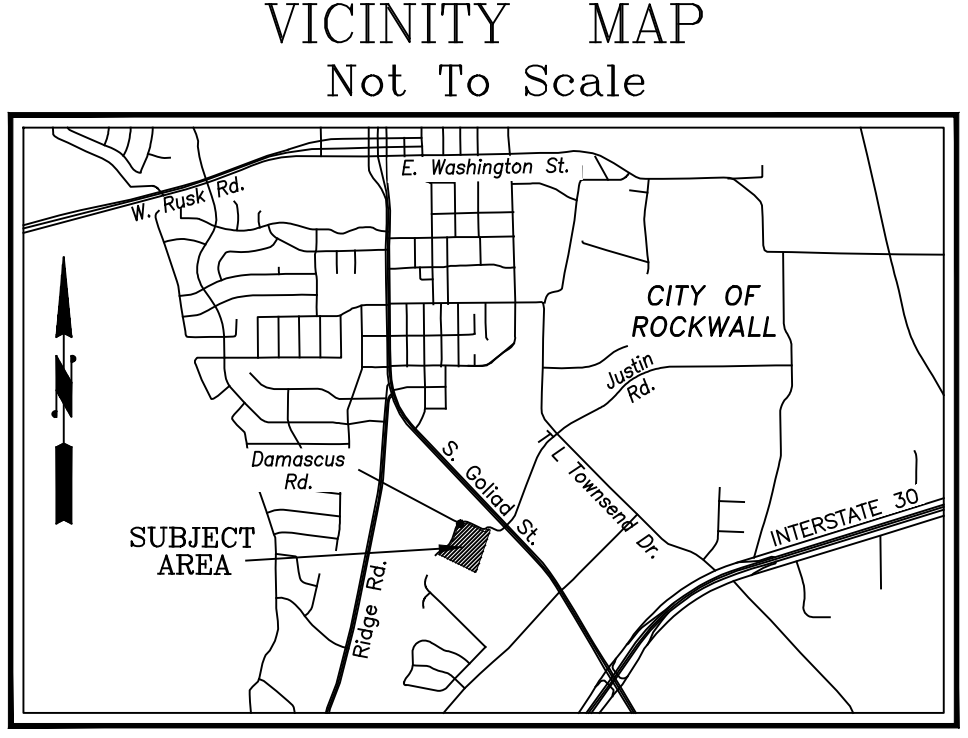
PAVING LEGEND (EXISTING)

---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	FENCE
---	PROPERTY LINE
---	CURB INLET

SITE LEGEND (PROPOSED)

---	BUILDING
---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	FENCE
---	PROPERTY LINE
---	CURB INLET

	(PRIVATE) 5' REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6% SACK HAND FINISH & SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS OVER 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
	(PRIVATE) 6' REINFORCED CONCRETE (NON FIRE LANES) PAVEMENT 3,600 P.S.I. CONCRETE, 6% SACK HAND FINISH & SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.



SITE DATA SUMMARY TABLE

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PRIVATE SCHOOL
LOT AREA	289,064 S.F. OR 6.636 AC.
BUILDING AREA (FLOOR AREA)	2,291 S.F.
PROPOSED BASEMENT LEVEL	9,463 S.F.
PROPOSED FIRST FLOOR	9,494 S.F.
PROPOSED SECOND FLOOR	21,340 S.F.
TOTAL BUILDING AREA	9,500 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	9,500 S.F. / 289,064 S.F. = 03.270%
LOT COVERAGE	0.3271
FLOOR AREA RATIO	198,129 S.F. OR 4.50 AC.
TOTAL IMPERVIOUS AREA	44'-0" (3 STORY)
BUILDING HEIGHT	642 STUDENT
STUDENT CAPACITY (K-6) DESIGN	650 STUDENT
STUDENT CAPACITY (K-6) EXISTING	27 SPACES
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	642 STUDENT / 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED
PARKING PROVIDED	192 SPACES
9'0" x 18'0"	7 SPACES
9'0" x 20'0" PARALLEL	199 SPACES
TOTAL PARKING PROVIDED	

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A
OUT OF THE
BURWELL J.T. LEWIS SURVEY, ABSTRACT NO. 255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: HERITAGE CHRISTIAN ACADEMY
1408 S. GOLIATH STREET
ROCKWALL, TEXAS 75087
(972) 717-0605
CONTACT:

ARCHITECT: CRAODOCK ARCHITECTURE
P.O. BOX #188
ROCKWALL, TX 75087
(214) 952-0527

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2023-000

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER F-303
PHONE (972) 717-5151
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038

MIKE GLENN
35059
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059 August 15, 2023

HCA
HERITAGE CHRISTIAN ACADEMY

Heritage Christian Academy
1408 S Goliath St.
Rockwall, TX 75087

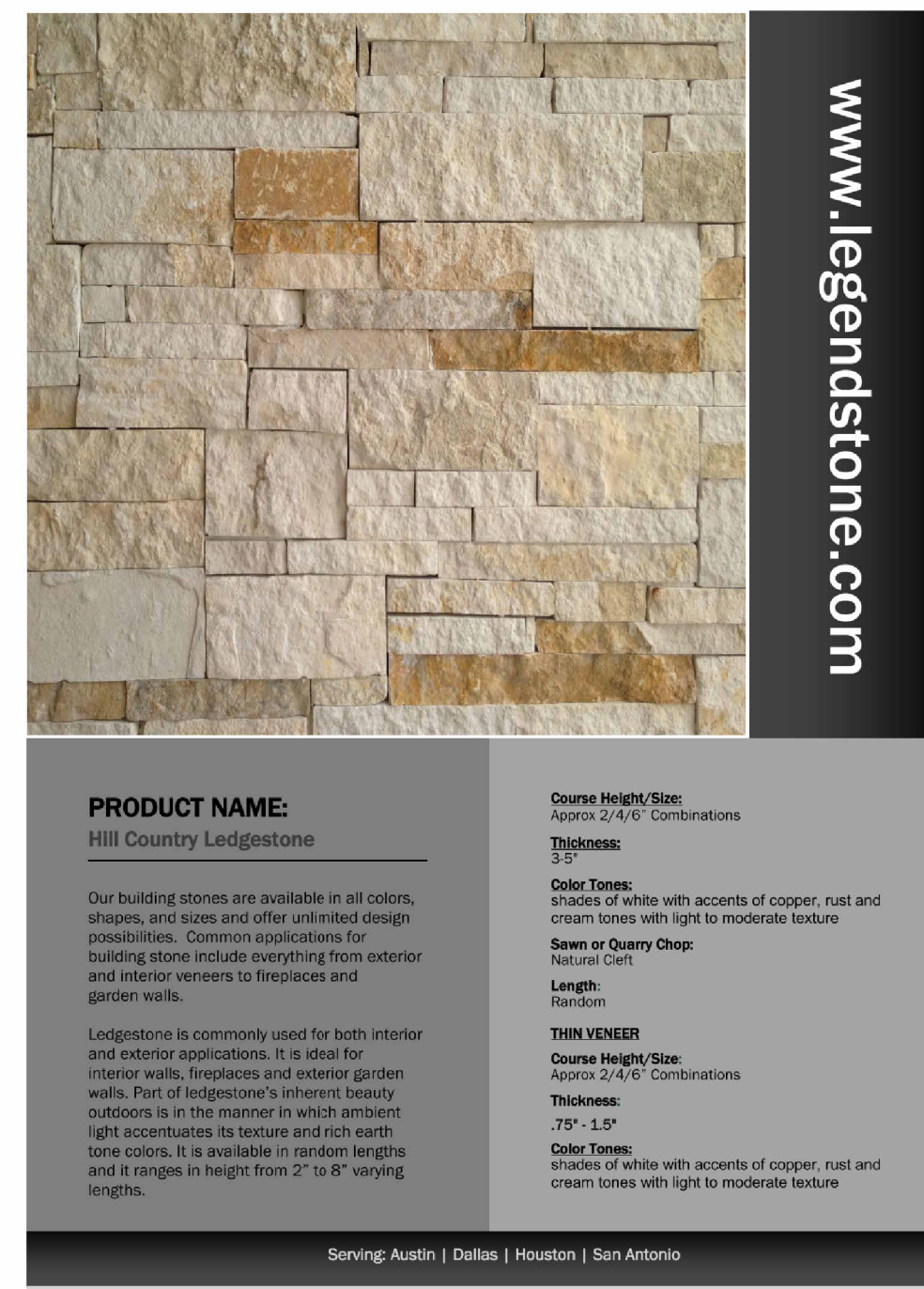
Revisions:

Issue Dates:
Review: 08/15/23
Permit:
Construction:

Drawn By: RAH
Checked By: RMR
Project No.: 2000.01

OVERALL
SITE PLAN
Sheet
C03.00

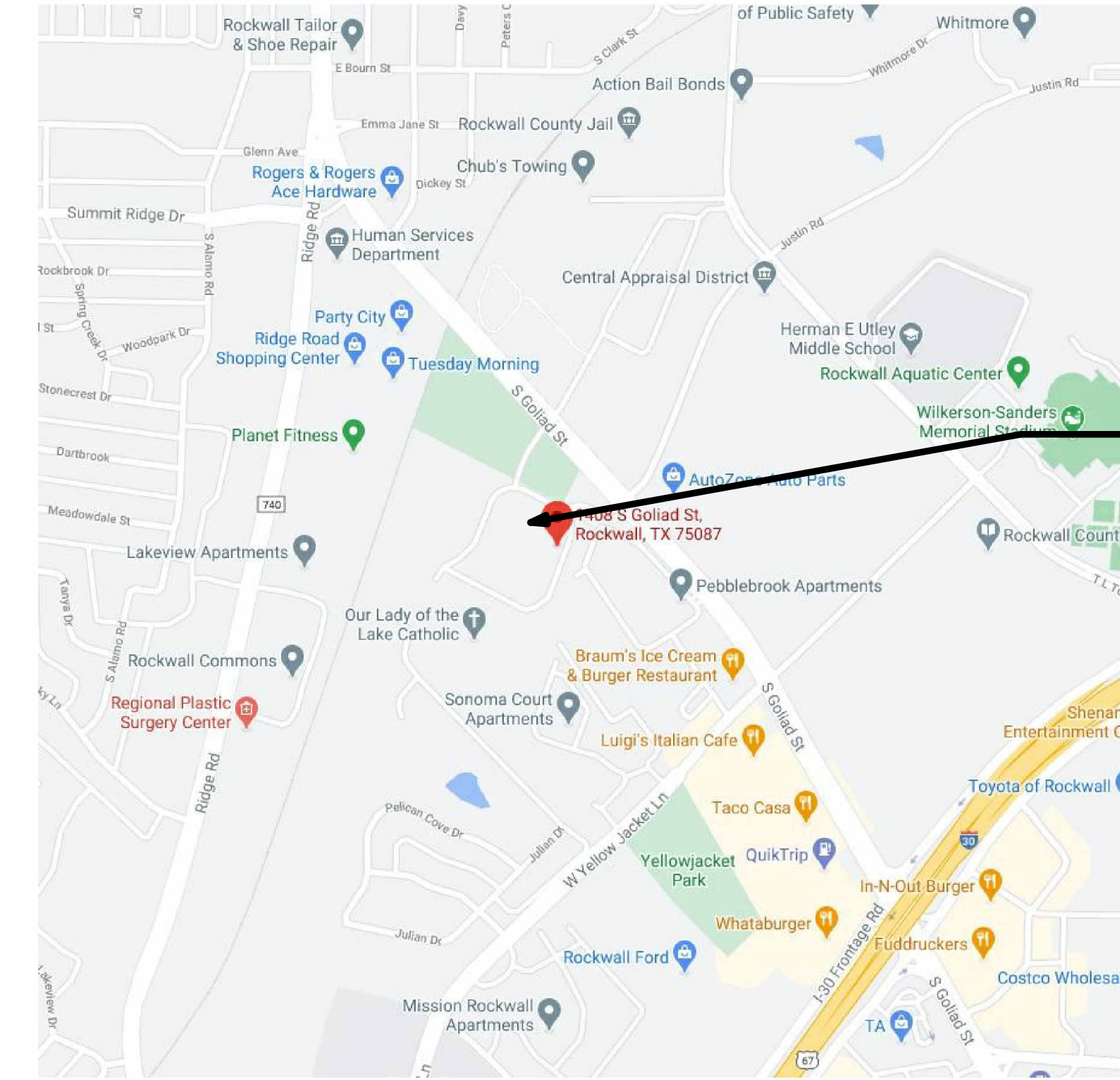
MATERIAL CALCULATIONS			AREA	%
NORTH ELEVATION				
MASONRY			4,173	
	BRICK		2,750	65.9%
	STONE		0	0.0%
METAL PANEL			1,425	34.1%
				100.0%
EAST ELEVATION				
MASONRY			2,526	
	BRICK		1,463	57.9%
	STONE		95	3.8%
METAL PANEL			968	38.3%
				100.0%
SOUTH ELEVATION				
MASONRY			5,742	
	BRICK		2,745	47.8%
	STONE		1,560	27.2%
METAL PANEL			1,435	25.0%
				100.0%
WEST ELEVATION				
MASONRY			2,642	
	BRICK		1,411	53.4%
	STONE		220	8.3%
METAL PANEL			1,012	38.3%
				100.0%



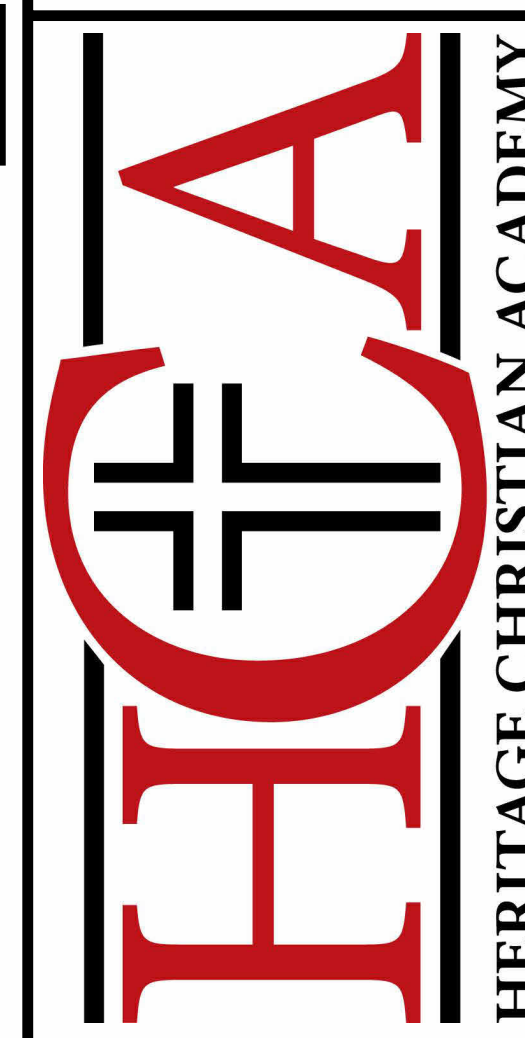
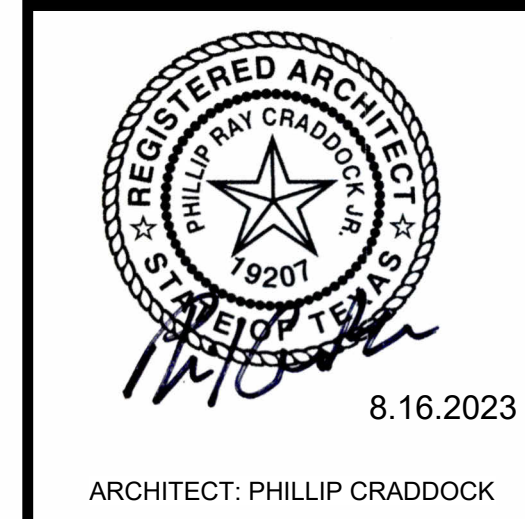
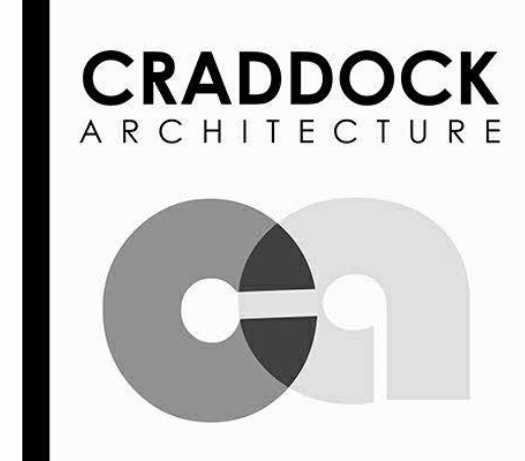
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



HERITAGE CHRISTIAN ACADEMY



CRADDOCK ARCHITECTURE
P. O. BOX #188 Rockwall, TX 75087 214-952-0527

REVISION	
#	Revision Description

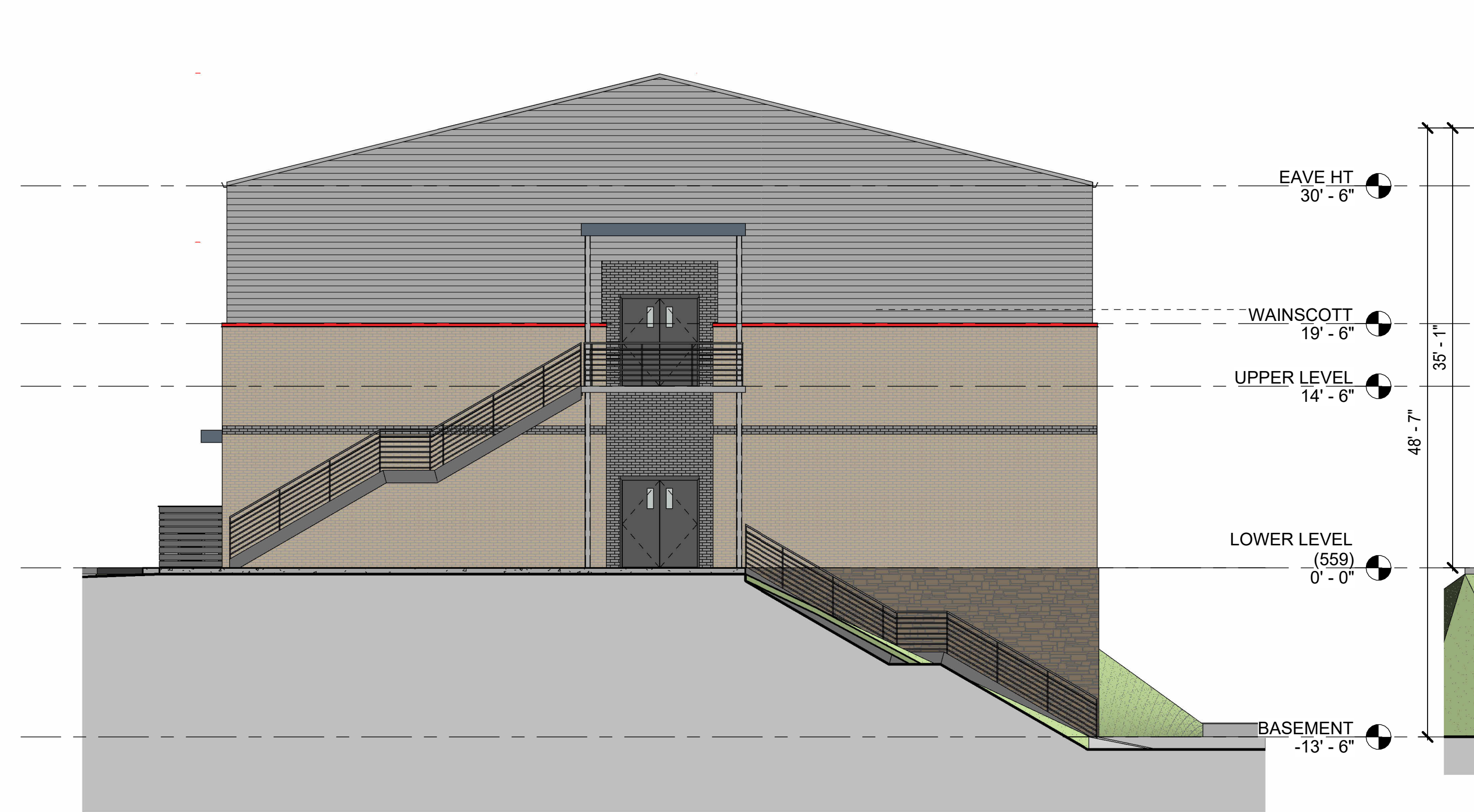
HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG C"
Rockwall, Texas 75087

Project number 2023-014 Date 8/16/2023

EXTERIOR ELEVATIONS

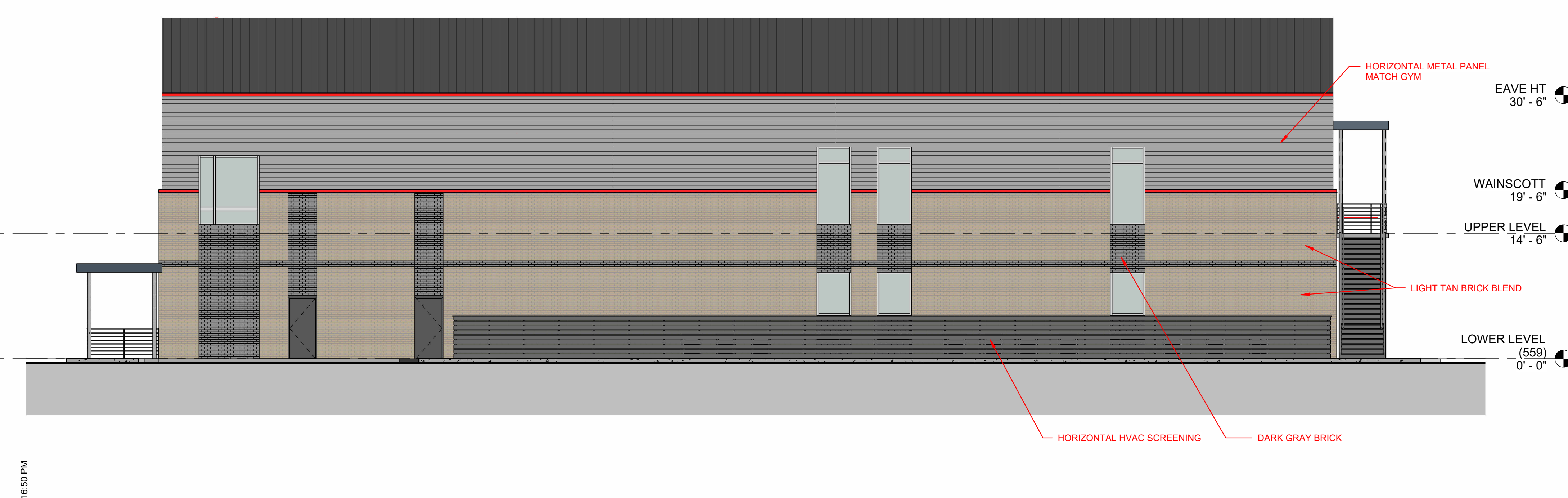
Scale: As indicated

A500



4 WEST ELEVATION
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"

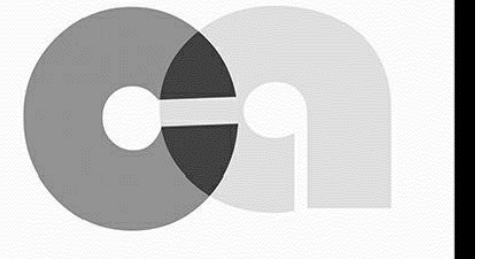


1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

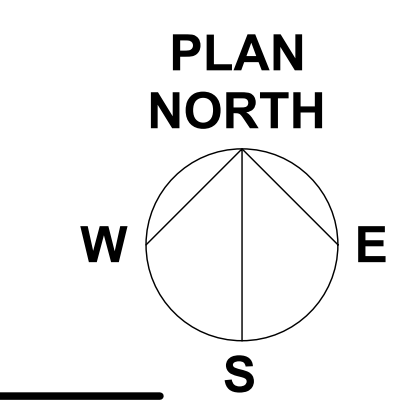
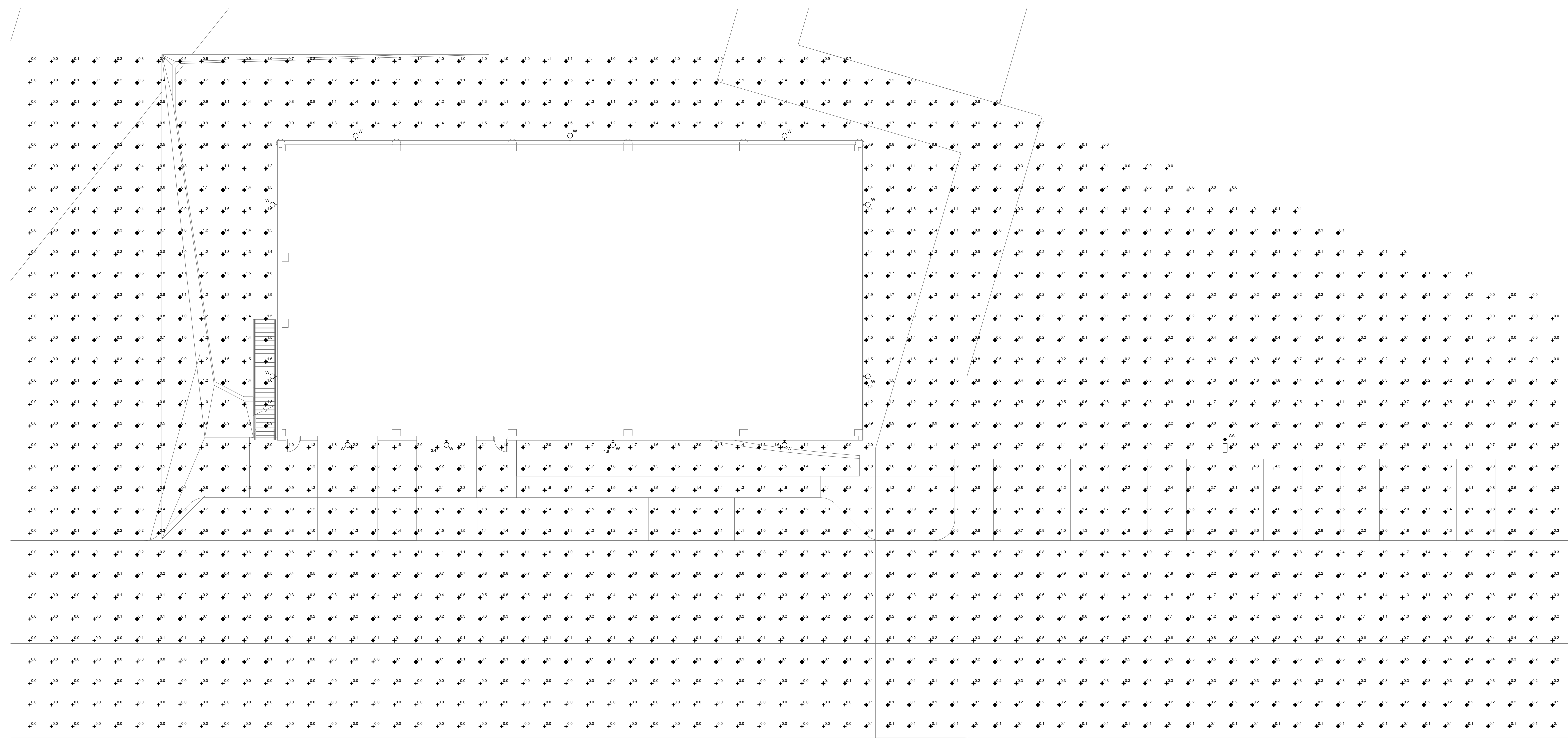
8/16/2023 3:16:50 PM



PRELIMINARY
This document is released for interim review under the authority of Kris Stepp, P.E. 93736 on Aug 17, 2023. It is not to be used for construction, bidding, or permit purposes.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	0.7 fc	4.3 fc	0.0 fc	N/A	N/A

Schedule									
Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	
AA	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA3C-740-U-T4W	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	48	447	0.7	166	
W	11	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	IST-SA1B-740-U-T4W	IMPACT ELITE LED TRAPEZOID LUMINAIRE (1) 70 CRI, 4000K, 450mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV WIDE OPTICS	16	215	0.7	25.4	



1 SITE PLAN - PHOTOMETRICS
1" = 10'-0"



CRADDOCK ARCHITECTURE
P.O. BOX #188 Rockwall, TX 75087 214-952-0627

REVISION	
#	Revision Description

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG"
Rockwall, Texas 75087
Project number 2023-014 Date 08/17/2023
SITE PLAN PHOTOMETRICS
Scale: AS NOTED

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-026
PROJECT NAME: Site plan for 2620 Sunset Ridge Drive
SITE ADDRESS/LOCATIONS: 2620 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-026) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please remove all signage from the building elevation; all signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) A fully developed site plan is required for this amended site plan due to [1] the patio was not captured on the original site plan, rather it was added during the Engineering

- process, and [2] the increase of the parking deficiency. In addition, have the extent of the plans cover just be the subject property. (Subsection 03.04. A, of Article 11, UDC)
- (2) Please provide the owners name, address, and phone number. They are required to be in the lower right-hand corner left of the title block. (Subsection 03.04. A, of Article 11, UDC)
 - (3) Please provided the name, address, and phone number of the person or company that prepared the plans. They are required in the lower righthand corner left of the title block (Subsection 03.04. A, of Article 11, UDC)
 - (4) Please provide a north point, numeric and graphic scale, and a vicinity map. (Subsection 03.04. A, of Article 11, UDC)
 - (5) Please indicate the total lot area in acreage and square feet. (Subsection 03.04. B, of Article 11, UDC)
 - (6) Please indicate the perimeter dimensions of the site in feet. (Subsection 03.04. B, of Article 11, UDC)
 - (7) Please indicate the square footage of all existing and proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
 - (8) Please indicate the perimeter dimensions of the existing building. (Subsection 03.04. B, of Article 11, UDC)
 - (9) Please indicate the distance between buildings. (Subsection 03.04. B, of Article 11, UDC)
 - (10) Please indicate the distance between the building and the property lines. (Subsection 03.04. B, of Article 11, UDC)
 - (11) Please indicate the property lines. (Subsection 03.04. B, of Article 11, UDC)
 - (12) Please indicate the building setbacks. (Subsection 03.04. B, of Article 11, UDC)
 - (13) Please indicate all easements. (Subsection 03.04. B, of Article 11, UDC)
 - (14) Please indicate the drive turning radii and widths. (Subsection 03.04. B, of Article 11, UDC)
 - (15) Please indicate all fire lane. (Subsection 03.04. B, of Article 11, UDC)
 - (16) Please indicate the dimensions of a typical parking space. (Subsection 05.03, of Article 06, UDC)
 - (17) Please provide a parking table that indicates the total number of required parking spaces by use (Subsection 05.01, of Article 06, UDC)
 - (18) Based on the previously approved site plan 199 parking spaces were required by the land uses indicated; however, an exception was granted to allow 161 parking spaces. That being said, the patio is required 1 parking space per 4 seats. In this case, an additional 25 parking spaces are required. This means you would be requesting to increase the non-conformity of the parking through an exception. (Table 5, of Article 06)
 - (19) Will there be an additional roof top units or ground mounted utility equipment? If so, please indicate the subsequent screening. (Subsection 01.05. C, Article 05)

M.7 Building Elevations:

- (1) Please provide spec sheets for all of the proposed materials (i.e. paint colors, roof material, brick, shade system). (Subsection 04.01. C, of Article 05, UDC)

I.8 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] parking. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

ENGINEERING	Craig Foshee	08/23/2023	Approved
08/25/2023: 1. Verify no easement in project location. 2. Please call out the project location.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved
No Comments			

VIDORRA ROCKWALL

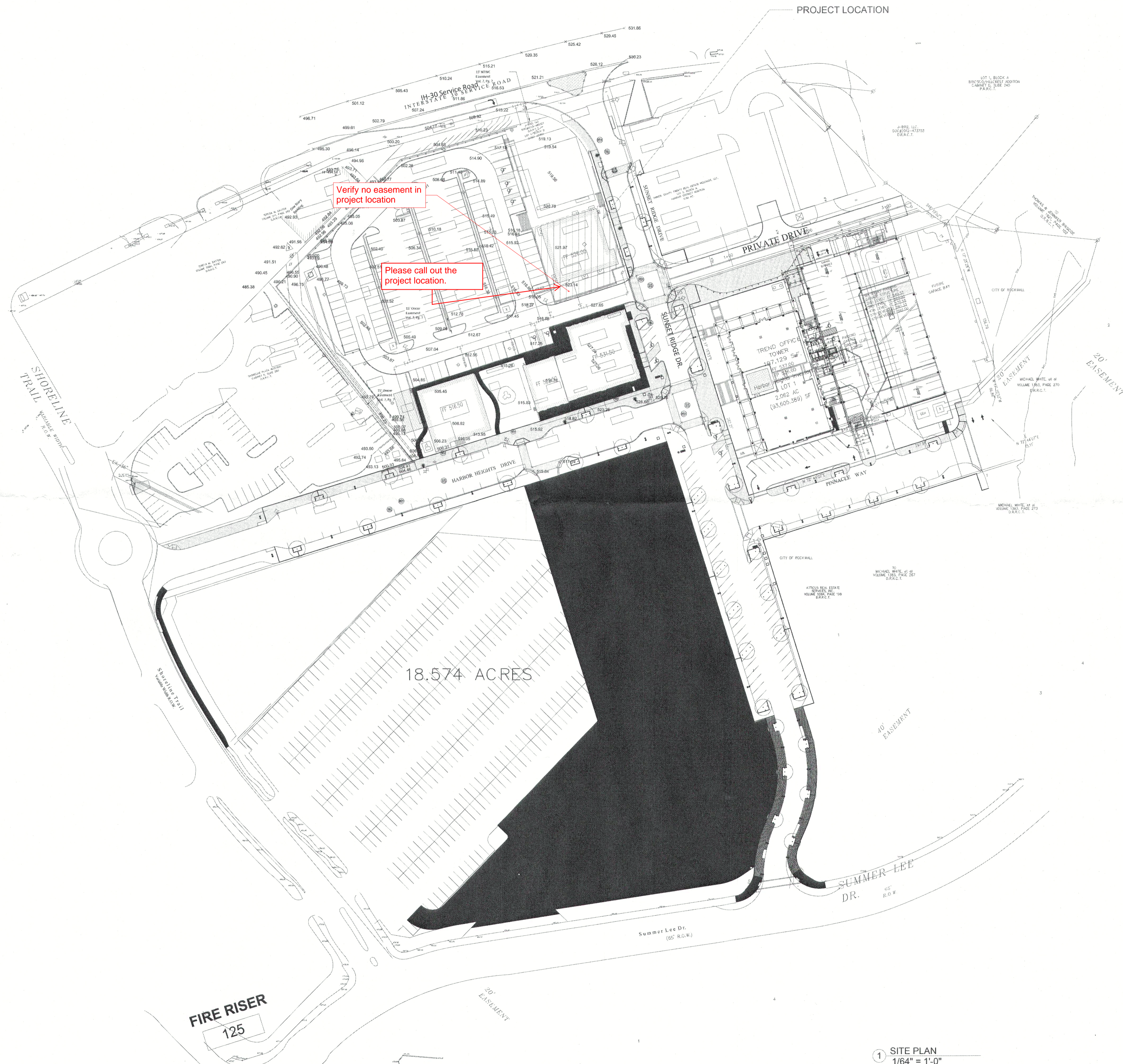
2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS, AND THE IDEAS AND DESIGN CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, MAY BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM 75 DEGREE DESIGN STUDIO.

DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949



18.574 ACRES

FIRE RISER
125

1 SITE PLAN
1/64" = 1'-0"

ISSUE:

REVISIONS:

Date 8/18/2023

SITE PLAN

G000.1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2620 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Milkshake Concepts

APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

ADDRESS 4000 Elm Street

ADDRESS 4000 Elm Street

CITY, STATE & ZIP Dallas, TX 75226

CITY, STATE & ZIP Dallas, TX 75226

PHONE 214-280-0008

PHONE 708-860-7405

E-MAIL jfaller72@gmail.com

E-MAIL epapan@milkshakeconcepts.com

NOTARY VERIFICATION [REQUIRED]

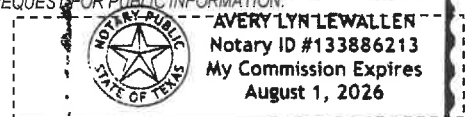
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

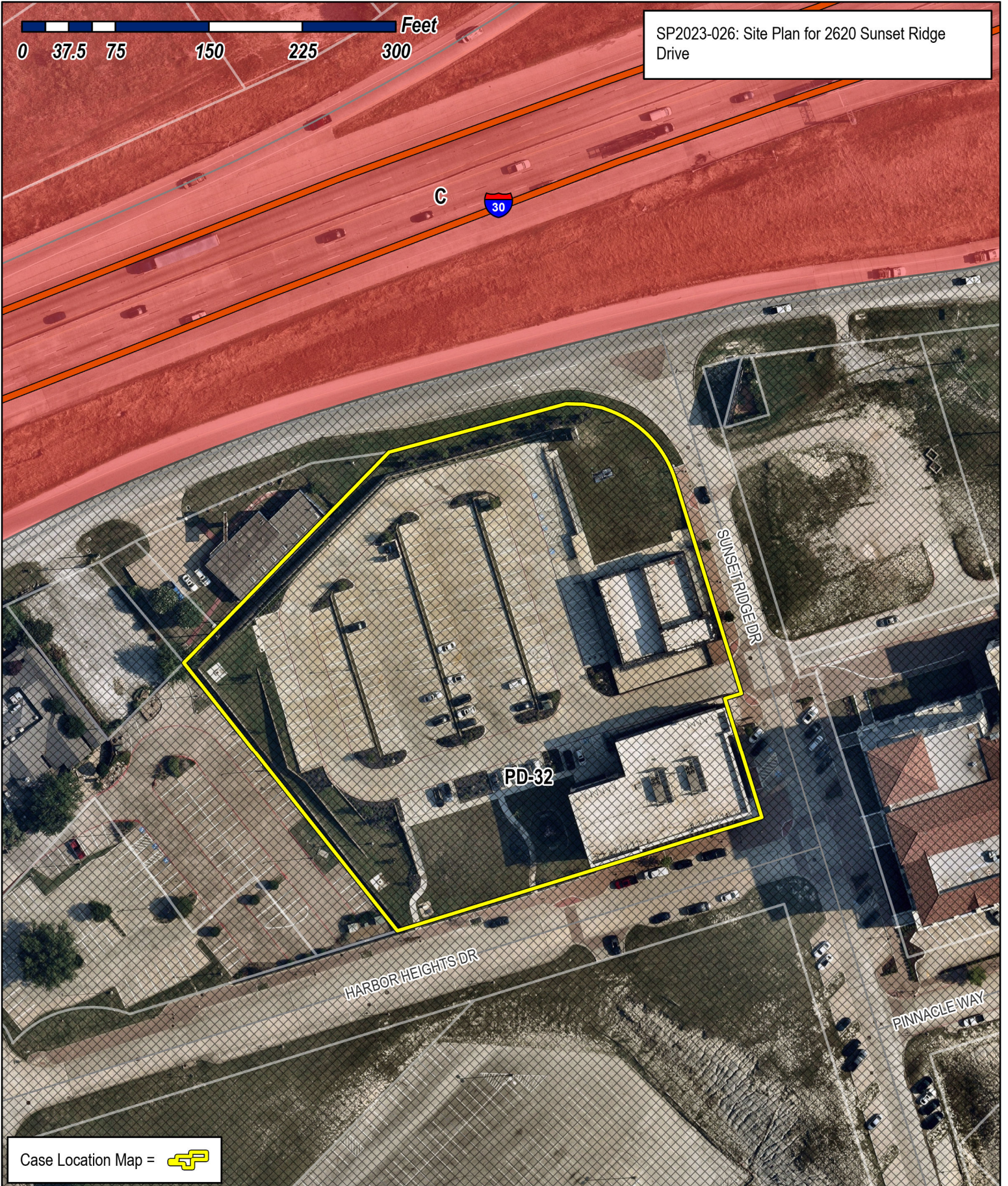


MY COMMISSION EXPIRES

August 1, 2026



SP2023-026: Site Plan for 2620 Sunset Ridge Drive



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS, AND THE IDEAS AND DESIGN CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, MAY BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM 75 DEGREE DESIGN STUDIO.

DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949



PROJECT LOCATION

18.574 ACRES

FIRE RISER
125

1 SITE PLAN
1/64" = 1'-0"

ISSUE:

REVISIONS:

Date 8/18/2023

SITE PLAN

G000.1

VIDORRA ROCKWAL

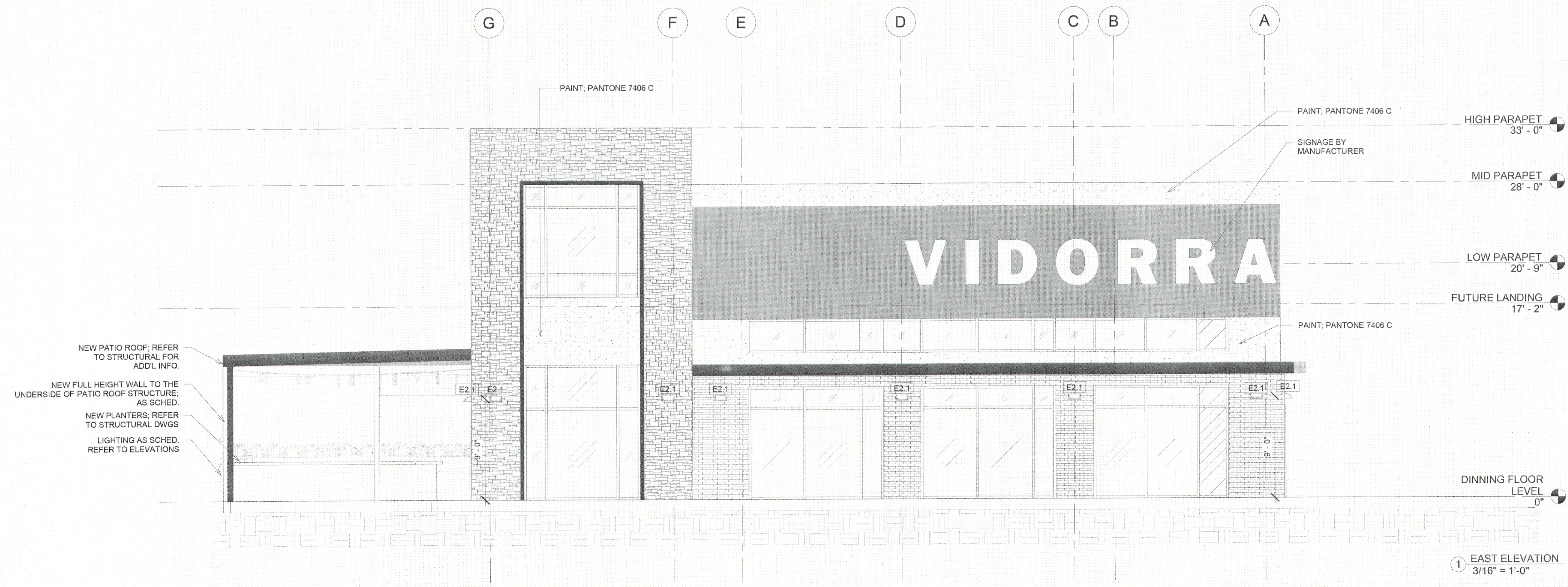
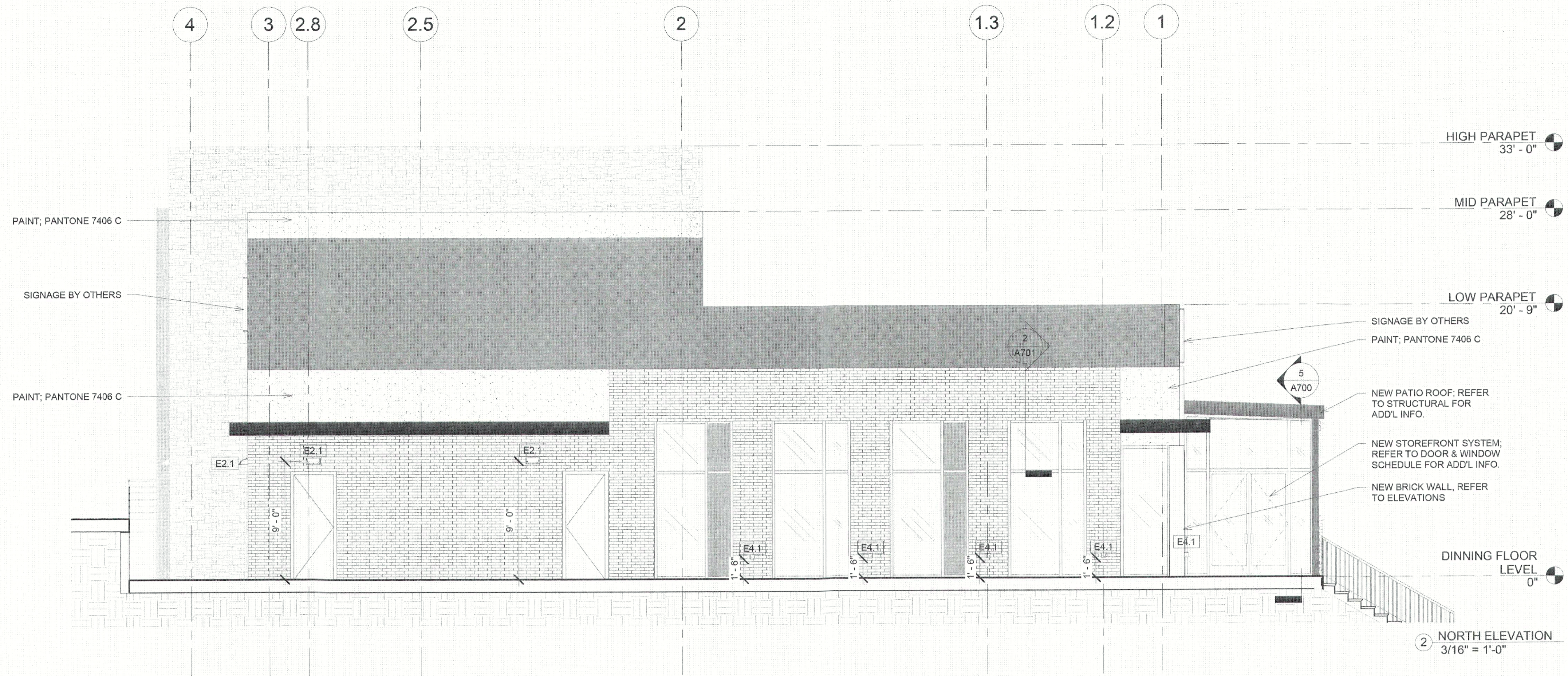
2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #52
DALLAS, TX 75207
TEL: 214-356-4949



ISSUE:

REVISIONS:

Date 8/18/20

EXTERIOR ELEVATIONS

A200

VIDORRA ROCKWALL

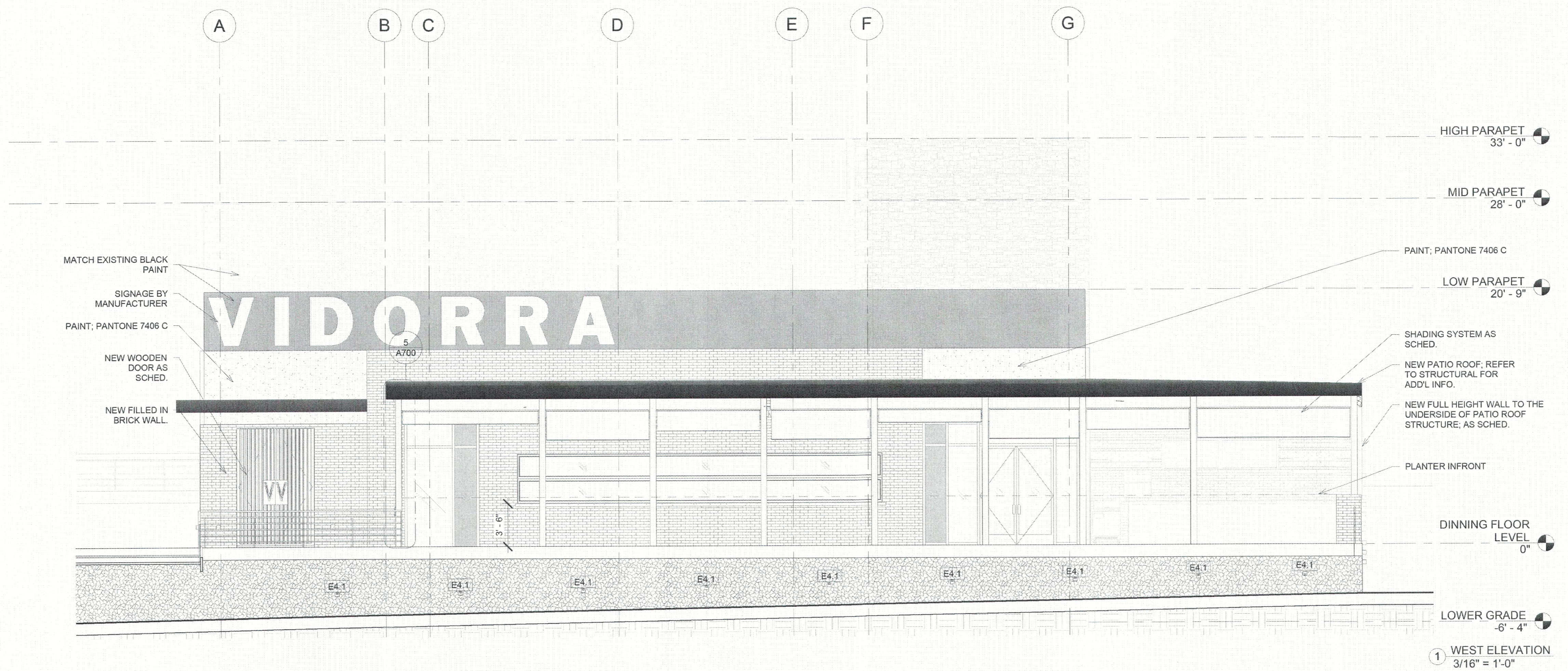
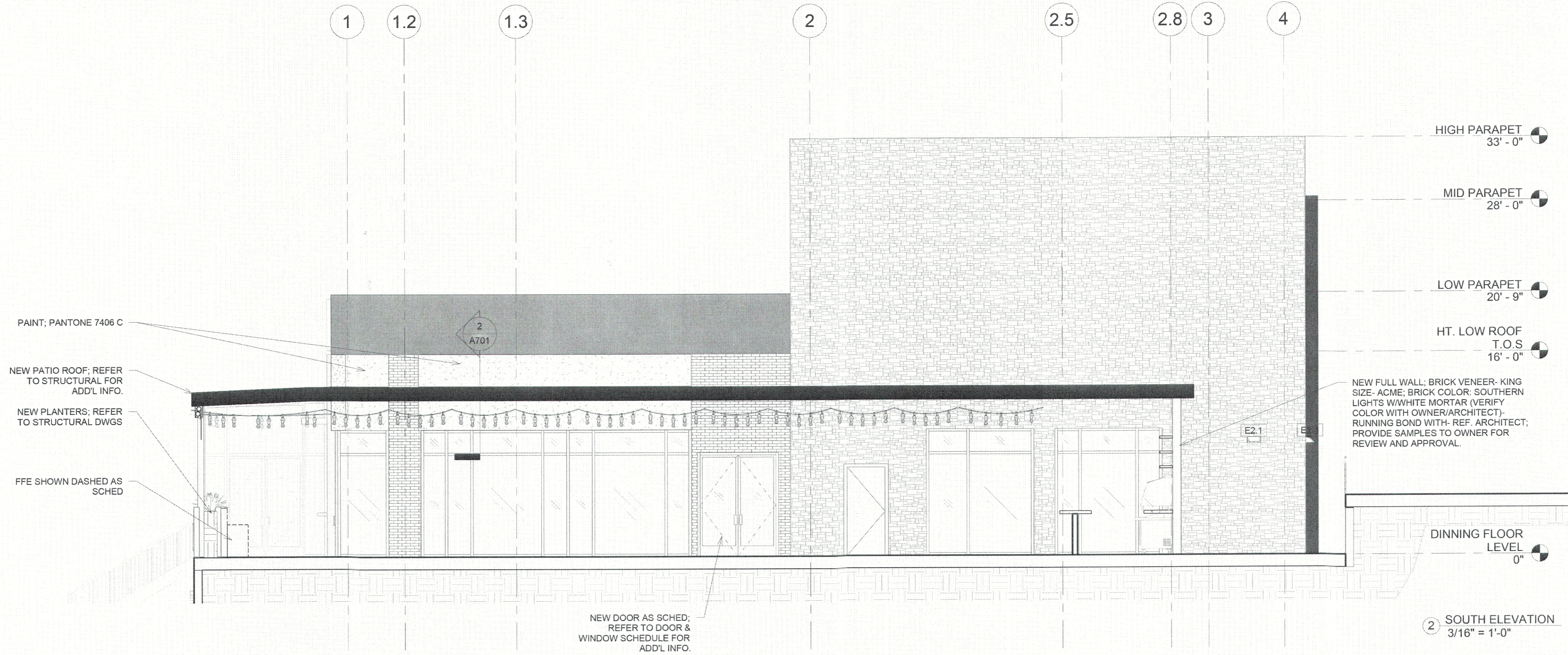
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ROCKWALL, TX 75032

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DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #520
DALLAS, TX 75207
TEL: 214-356-4949



ISSUE:

REVISIONS:

Date 8/18/20

EXTERIOR
ELEVATIONS

A201

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN CONSULTANT

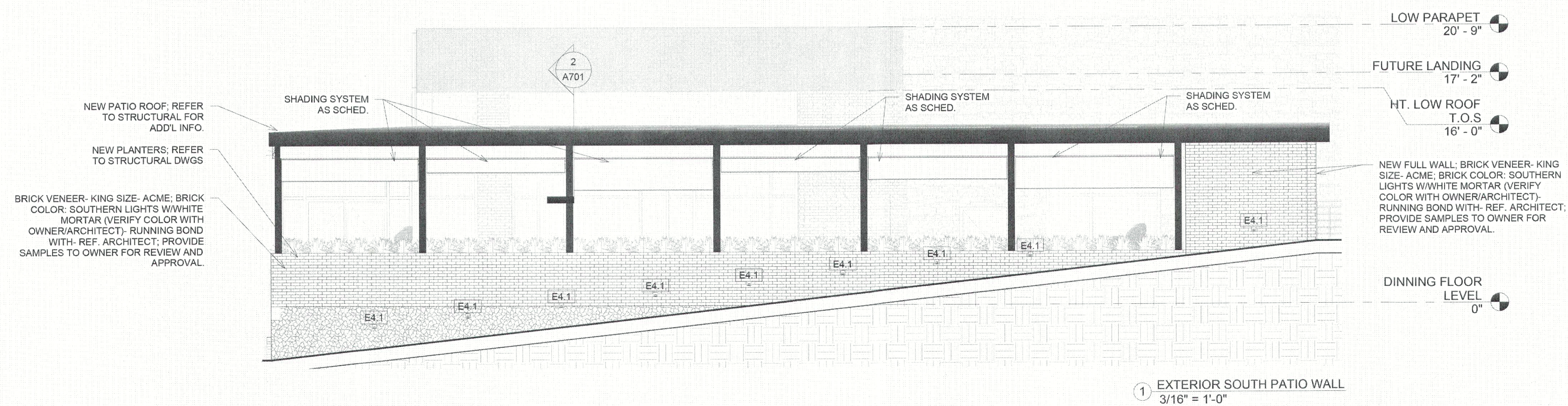
75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

REVISIONS:

Date 8/18/2023

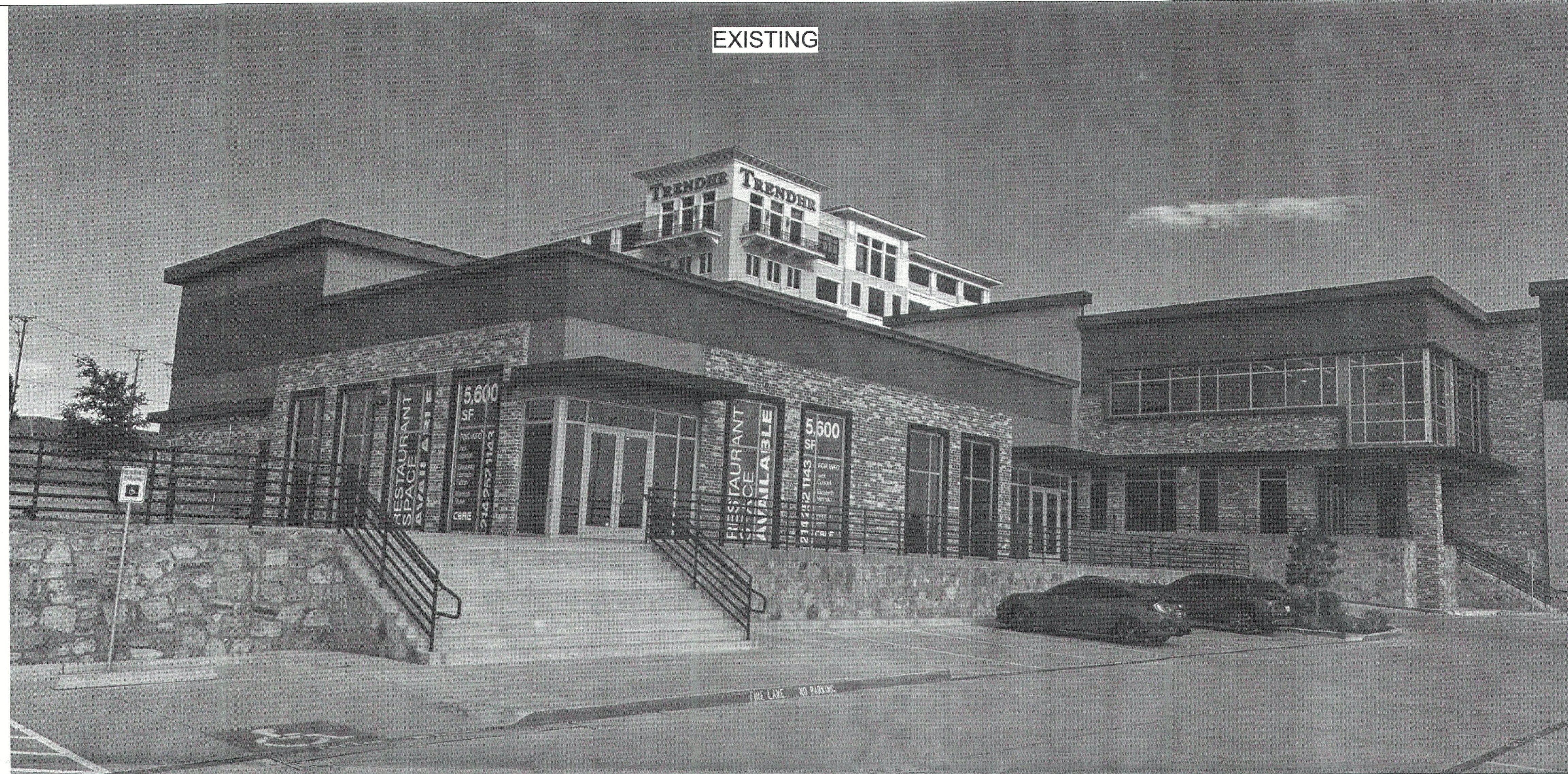


1 EXTERIOR SOUTH PATIO WALL
3/16" = 1'-0"

EXTERIOR
ELEVATIONS

A202

EXISTING



PROPOSED



VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

REVISIONS:

Date 8/18/2023

EXISTING AND
PROPOSED

G000.2

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES: ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

**CONTRACTOR'S
RESPONSIBILITY**

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

**COMMENCING
CONSTRUCTION**

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

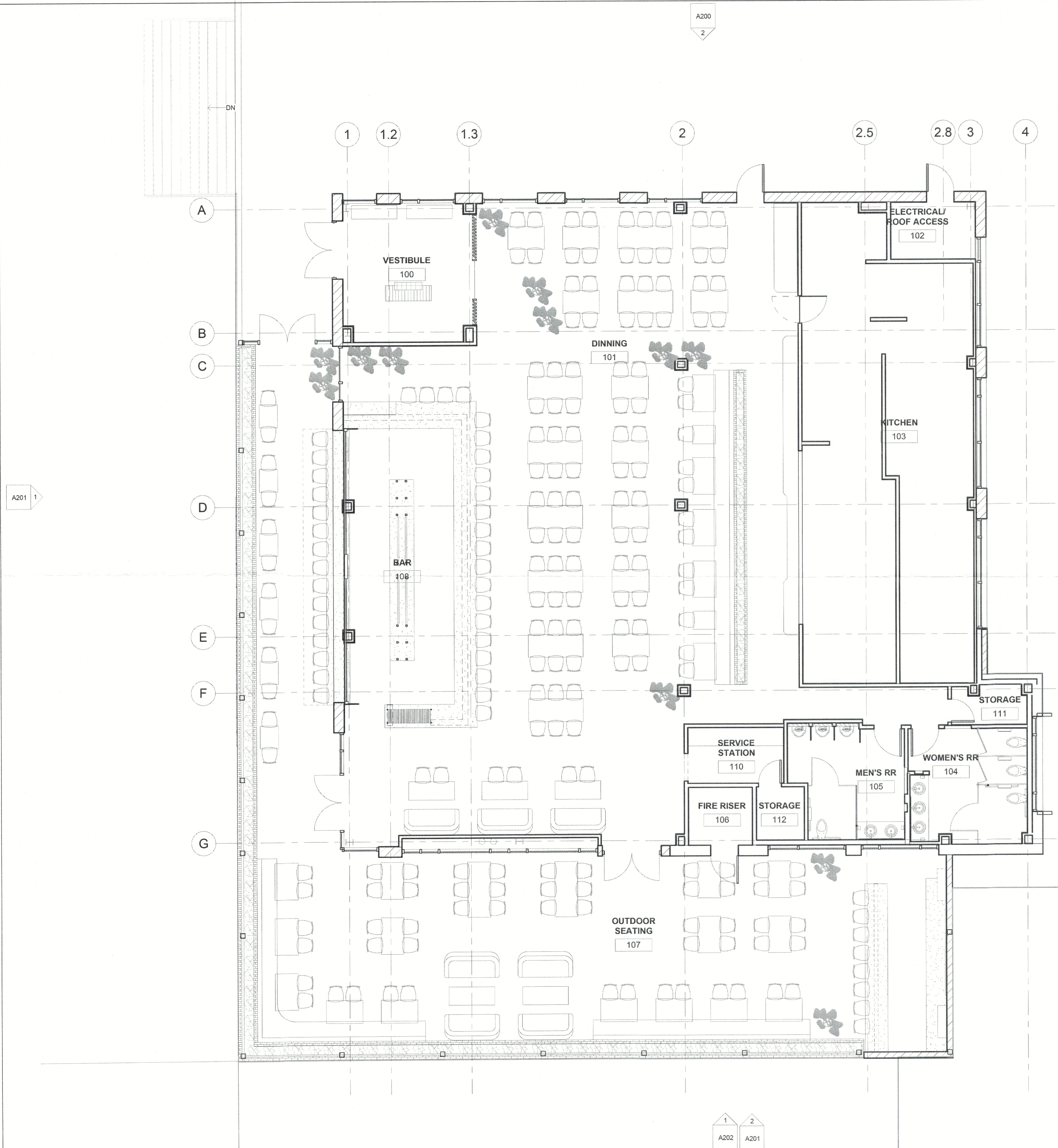
ISSUE:

REVISIONS:

Date: 8/

**FURNITURE FLO
PLAN**

ID100



1 FURNITURE PLAN
3/16" = 1'-0"



VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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75 DEGREE
DESIGN
STUDIO

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DALLAS, TX 75207
TEL: 214-356-4949

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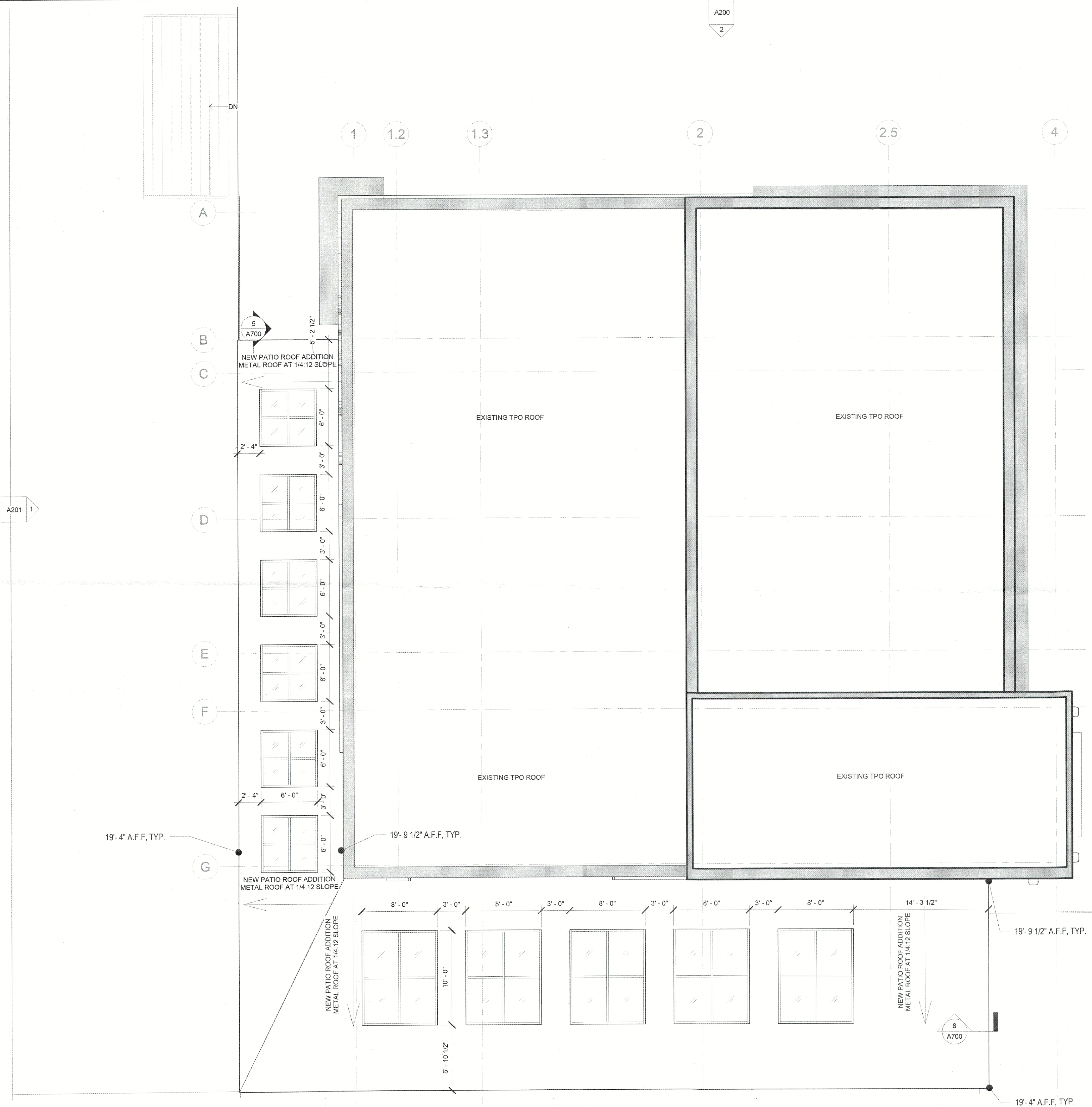
ISSUE:

REVISIONS:

Date 8/18/2023

ROOF PLAN

A101



1 ROOF PLAN
3/16\" = 1'-0"



2
A201

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-027
PROJECT NAME: Site Plan for Building 2, 2014-A, Portofino Drive
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-027) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please indicate the dog park as an amenity area on the site plan and landscape plan.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) Please indicate that the dumpster enclosure gates will be self-latching. (Subsection 01.05. B, of Article 05, UDC)

(2) Please indicate the dog park fencing as wrought iron and indicate the height. (Subsection 08.02. F, of Article 08, UDC)

M.7 Landscape Plan:

(1) Please indicate the canopy trees as 4" caliper and not 3" within the landscape table. (Subsection 05.03. B, of Article 08, UDC)

(2) Please provide a note that the irrigation will meet the requirements of the Unified Development Code (Subsection 05.04, of Article 08, UDC)

M.8 Photometric Plan:

(1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)

(2) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on August 29, 2023.

2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Why is this clouded? Is there a revisions?
2. Are there covers over all of these parking spaces?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved w/ Comments

08/22/2023: The carport cover shall not extend into the fire lane easement in any manner.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved w/ Comments

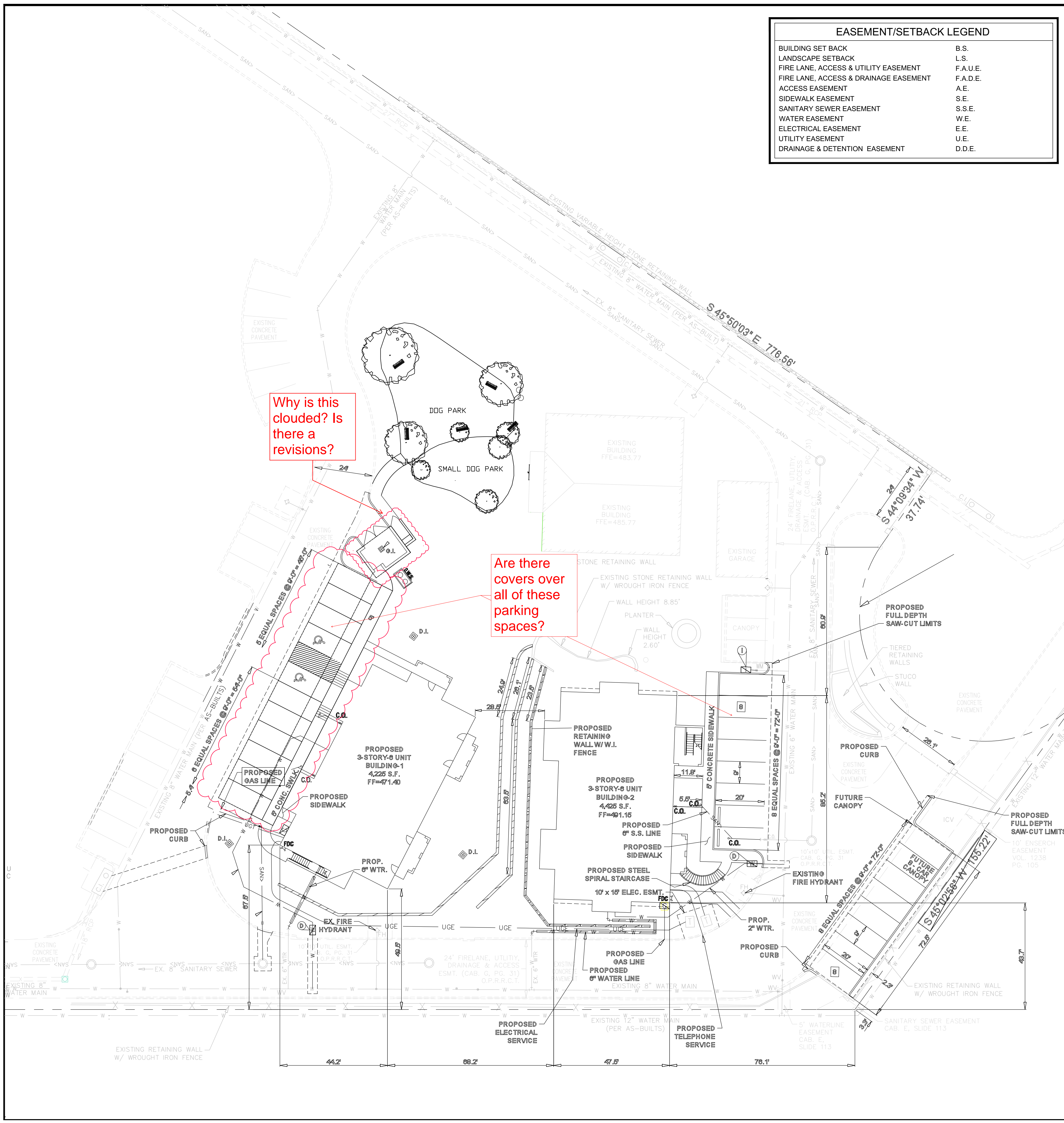
08/21/2023: Shell address is 2014-B PORTOFINO DR, ROCKWALL, TX 75032
Unit numbers are 2028,2030,2032,2034,2036,2038 PORTOFINO DR, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

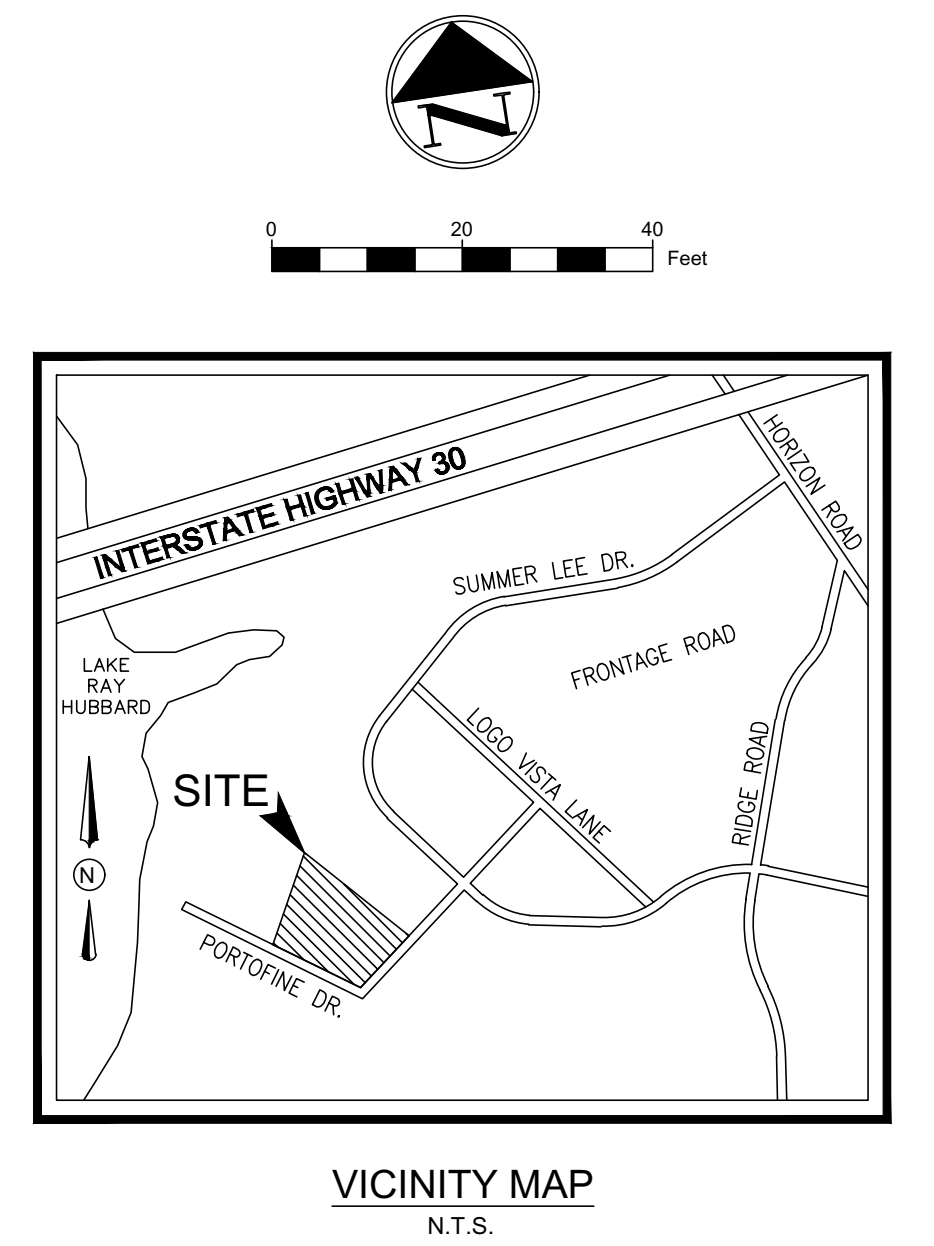
08/21/2023: 1. Live Oak species trees must be 4: caliper minimum
2. Dog Park must adhere to Municipal Code / Chapter 6



EASEMENT/SETBACK LEGEND	
BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND		
3/8" IR FOUND	GAS MARKER	CHAINLINK FENCE
1/2" IR FOUND	GAS METER	CONCRETE
1/2" IR FOUND	IRRIGATION VALVE	COVERED AREA
1/2" IR SET	LIGHT POLE	EASEMENT
5/8" IR FOUND	SAN. SEW. CO.	FIRE LANE STRIPE
3/4" IP FOUND	SAN. SEW. MH.	GRAVEL
1" IP FOUND	STONE COLUMN	GUY WIRE ANCHOR
1" IR FOUND	STORM DRAIN MH.	HANDICAP SPACE
60-D NAIL FOUND	TELE. BOX	HIGHBANK LINE
PK NAIL SET	TRANS. BOX	IRON FENCE
POINT FOR CORNER	UTILITY POLE	NO PARKING
X-FOUND	WATER METER	OVERHEAD UTILITY LINE
X-SET	WATER VALVE	PARKING STRIPE
A.C. PAD	BARBED WIRE FENCE	PIPE RAIL FENCE
BOLLARD POST	BOUNDARY	RETAINING WALL
BRICK COLUMN	BRICK	STONE
CABLE BOX	CONC. MONUMENT	TILE
ELECTRIC BOX	ELECTRIC BOX	WOOD DECK
FIRE HYDRANT	FIRE HYDRANT	WOOD FENCE

SITE DATA SUMMARY TABLE	
PHYSICAL ADDRESS	PORTOFINO DRIVE
GROSS SITE AREA	287,476 S.F. / 6.60 ACRES
NET AREA	T.B.D.
ZONING	PD-22
CURRENT USE	CONDOMINIUMS
PROPOSED USE	CONDOMINIUMS
LOT COVERAGE DATA	
BUILDING COVERAGE	25,950 S.F.
BUILDING FOOTPRINT	8,650 S.F.
TOTAL BUILDING AREA	25,950 S.F.
IMPERVIOUS COVERAGE	6,946 S.F.
PERVIOUS COVERAGE	5,127 S.F.
PARKING SUMMARY	
PARKING SPACE REQUIREMENTS	
RESIDENTIAL PARKING - 2 SPACES PER UNIT	
TOTAL PARKING SPACES REQUIRED =	24
TOTAL PARKING SPACES PROVIDED =	27
BUILDING DATA	
BUILDINGS	2 BUILDINGS & 1 GARAGE
STORIES	3
PEAK HEIGHT	35'-0"
TOTAL SQUARE FOOTAGE	25,950 S.F.



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE LEGEND	
CONCRETE CURB	[Symbol]
SAW-CUT LINE	[Symbol]
FENCE	[Symbol]
FIRE LANE	[Symbol]
STRIPING	[Symbol]
PARKING SPACES	[Symbol]
MONUMENT/PYLON SIGN	[Symbol]
WHEEL STOPS	[Symbol]
HANDICAP LOGO	[Symbol]
HANDICAP SIGN	[Symbol]
RAMP	[Symbol]
BOLLARD	[Symbol]
TRAFFIC ARROW	[Symbol]
FIRE HYDRANT	[Symbol]
DUMPSTER	[Symbol]
LIGHT POLE	[Symbol]

NOTE: PROPOSED BUILDING COLORS AND MATERIALS TO MATCH EXISTING BUILDINGS.

NOTE: TREES TO BE 5' AWAY FROM PUBLIC UTILITY LINES LESS THAN 10". TREES TO BE 10' AWAY FROM PUBLIC UTILITY LINES THAT ARE 10" OR GREATER.

SITE PLAN SIGNATURE BLOCK

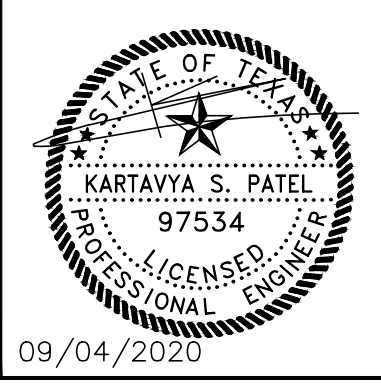
APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ OF _____, 2020.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1 1/2"	2	6"
(I)	IRR.	1"	1	N/A

NO.	DATE	DESCRIPTION	BY
1	11/25/2019	1st CITY SUBMITTAL	KP
2	01/16/2020	2nd CITY SUBMITTAL	KP
3	05/13/2020	3rd CITY SUBMITTAL	KP
4	09/04/2020	4th CITY SUBMITTAL	KP
5	08/08/2023	5th CITY SUBMITTAL	HK



SP2019-049

SITE PLAN

WATER'S EDGE AT LAKE RAY HUBBARD

PORTOFINO DRIVE

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC

T. 489.331.8566 | F. 489.213.7445 | E. info@triangle-engr.com

W. triangle-engr.com | O. 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | CM Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040-19

TX PE FIRM #11525

3



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: BUILDING 2, 2014-A, PORTOFIMO DR, ROCKWALL TX 75032

SUBDIVISION: WATERS EDGE AT LAKE RAY HUBBARD LOT 1 BLOCK A

GENERAL LOCATION: SUMMER LEE AND PORTOFIMO DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>PD-22</u>	CURRENT USE	<u>CONDOMINIUMS</u>
PROPOSED ZONING		PROPOSED USE	<u>CONDOMINIUMS.</u>
ACREAGE	<u>6.5995</u>	LOTS [CURRENT]	<u>85</u>
		LOTS [PROPOSED]	<u>85</u>

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>PLUTUS 21 DEVELOPMENT V</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	<u>DANIYAL AWAN</u>	CONTACT PERSON	
ADDRESS	<u>11455 NEWKIRK ST</u>	ADDRESS	
	<u># 1405</u>		
CITY, STATE & ZIP	<u>DALLAS TX 75229</u>	CITY, STATE & ZIP	
PHONE	<u>469 853 6007</u>	PHONE	
E-MAIL	<u>dm @ plutus21.dev</u>	E-MAIL	

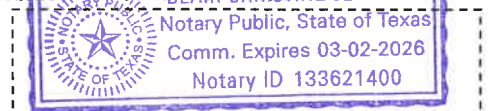
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniyal Awan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF AUGUST, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF August, 2023.

OWNER'S SIGNATURE




NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Blair Christine Jennings

MY COMMISSION EXPIRES 3-2-2026



SP2023-027: Amended Site Plan for Building 2,
2014-A Portofino Drive

Case Location Map = 

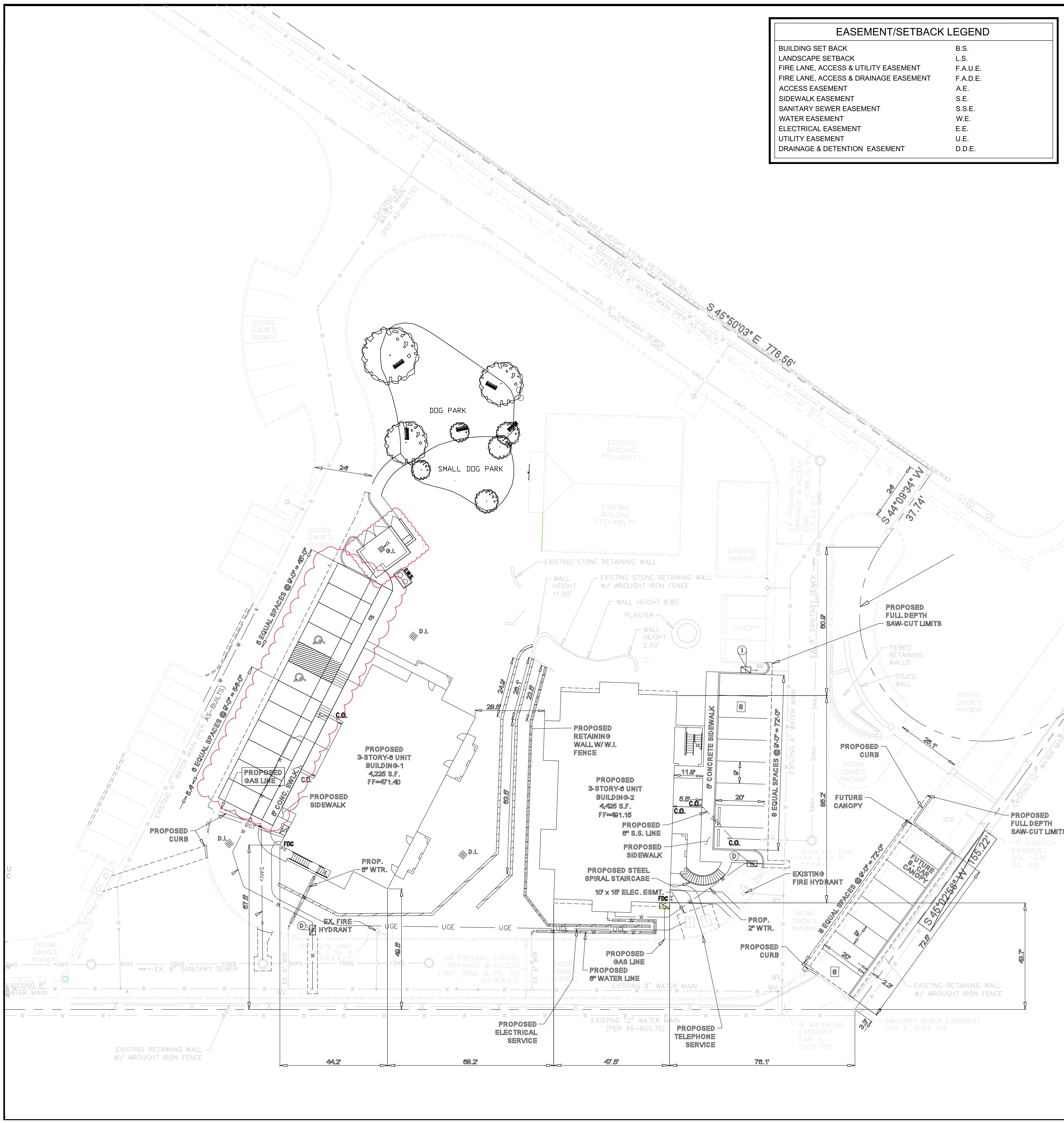


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





EASEMENT/SETBACK LEGEND

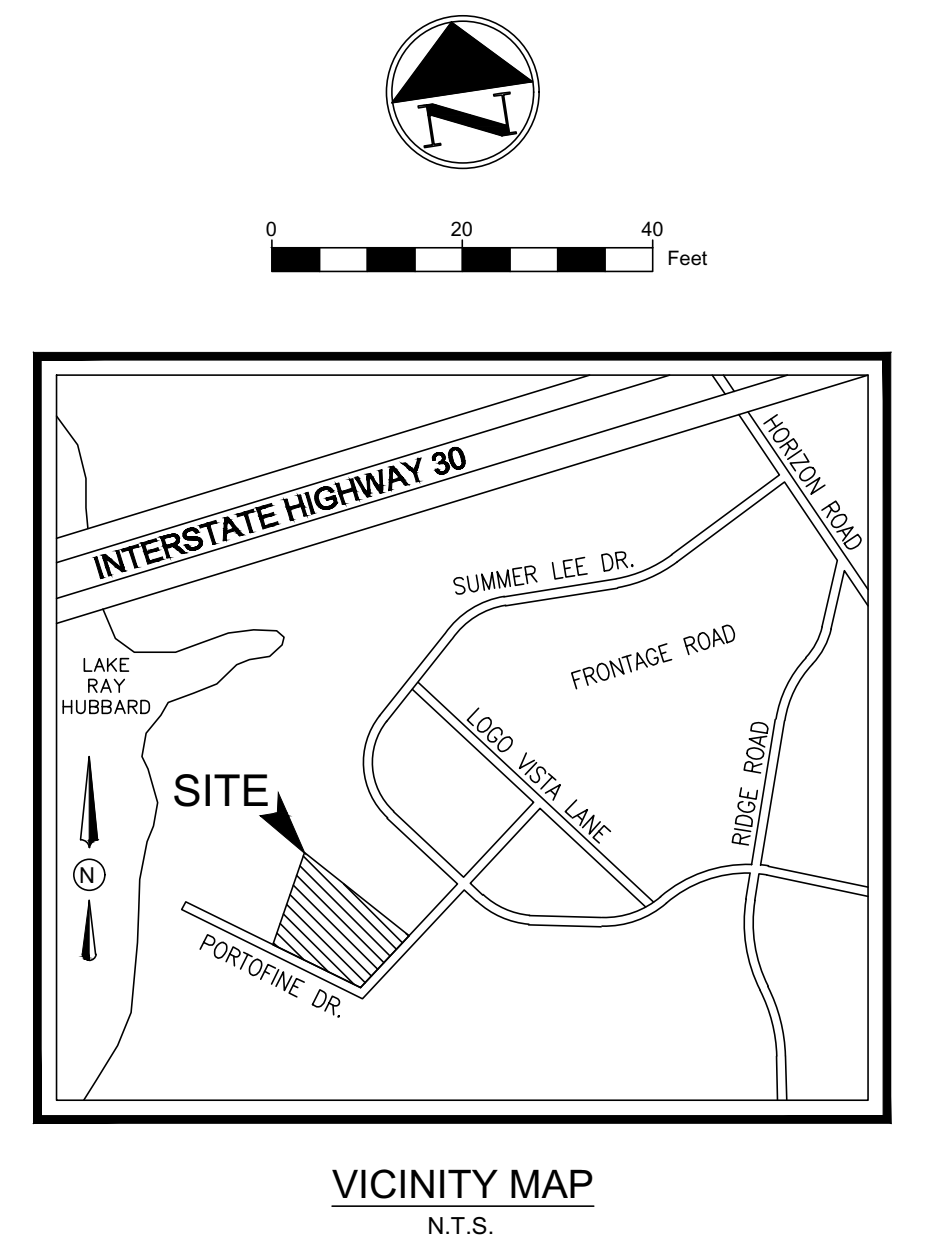
BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND

3/8" IR FOUND	GAS MARKER	CHAINLINK FENCE
1/2" IR FOUND	GAS METER	CONCRETE
1/2" IR SET	IRRIGATION VALVE	COVERED AREA
5/8" IR FOUND	LIGHT POLE	EASEMENT
3/4" IP FOUND	SAN. SEW. CO.	FIRE LANE STRIPE
1" IP FOUND	SAN. SEW. MH.	GRAVEL
60-D NAIL FOUND	STONE COLUMN	GUY WIRE ANCHOR
PK NAIL SET	STORM DRAIN MH.	HANDICAP SPACE
POINT FOR CORNER	TRANS. BOX	HIGHBANK LINE
X-FOUND	UTILITY POLE	IRON FENCE
X-SET	WATER METER	NO PARKING
A.C. PAD	WATER VALVE	PARKING STRIPE
BOLLARD POST	BARBED WIRE FENCE	OVERHEAD UTILITY LINE
BRICK COLUMN	BOUNDARY	PARKING STRIPE
CABLE BOX	BRICK	PIPE RAIL FENCE
CONC. MONUMENT	BUILDING LINE	RETAINING WALL
ELECTRIC BOX	BUILDING WALL	STONE
FIRE HYDRANT	BUILDING WALL	TILE
		WOOD DECK
		WOOD FENCE

SITE DATA SUMMARY TABLE

PHYSICAL ADDRESS	PORTOFINO DRIVE
GROSS SITE AREA	287,476 S.F. / 6.60 ACRES
NET AREA	T.B.D.
ZONING	PD-22
CURRENT USE	CONDOMINIUMS
PROPOSED USE	CONDOMINIUMS
LOT COVERAGE DATA	
BUILDING COVERAGE	25,950 S.F.
BUILDING FOOTPRINT	8,650 S.F.
TOTAL BUILDING AREA	25,950 S.F.
IMPERVIOUS COVERAGE	6,946 S.F.
PERVIOUS COVERAGE	5,127 S.F.
PARKING SUMMARY	
PARKING SPACE REQUIREMENTS	
RESIDENTIAL PARKING - 2 SPACES PER UNIT	
TOTAL PARKING SPACES REQUIRED = 24	
TOTAL PARKING SPACES PROVIDED = 27	
BUILDING DATA	
BUILDINGS	2 BUILDINGS & 1 GARAGE
STORIES	3
PEAK HEIGHT	35'-0"
TOTAL SQUARE FOOTAGE	25,950 S.F.



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE LEGEND

CONCRETE CURB	[Symbol]
SAW-CUT LINE	[Symbol]
FENCE	[Symbol]
FIRE LANE	[Symbol]
STRIPING	[Symbol]
PARKING SPACES	[Symbol]
MONUMENT/PYLON SIGN	[Symbol]
WHEEL STOPS	[Symbol]
HANDICAP LOGO	[Symbol]
HANDICAP SIGN	[Symbol]
RAMP	[Symbol]
BOLLARD	[Symbol]
TRAFFIC ARROW	[Symbol]
FIRE HYDRANT	[Symbol]
DUMPSTER	[Symbol]
LIGHT POLE	[Symbol]

NOTE: PROPOSED BUILDING COLORS AND MATERIALS TO MATCH EXISTING BUILDINGS.

NOTE: TREES TO BE 5' AWAY FROM PUBLIC UTILITY LINES LESS THAN 10". TREES TO BE 10' AWAY FROM PUBLIC UTILITY LINES THAT ARE 10" OR GREATER.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ OF _____, 2020.

PLANNING & ZONING COMMISSION, CHAIRMAN

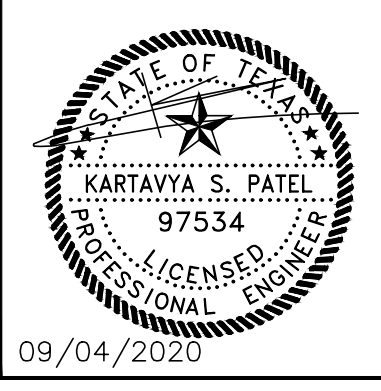
DIRECTOR OF PLANNING AND ZONING

WATER METER & SANITARY SEWER SCHEDULE

ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1 1/2"	2	6"
(I)	IRR.	1"	1	N/A

SP2019-049
SITE PLAN
WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

NO.	DATE	DESCRIPTION	BY
1	11/25/2019	1st CITY SUBMITTAL	KP
2	01/16/2020	2nd CITY SUBMITTAL	KP
3	05/13/2020	3rd CITY SUBMITTAL	KP
4	09/04/2020	4th CITY SUBMITTAL	KP
5	08/08/2023	5th CITY SUBMITTAL	HK



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W. triangle-engr.com | CO. 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

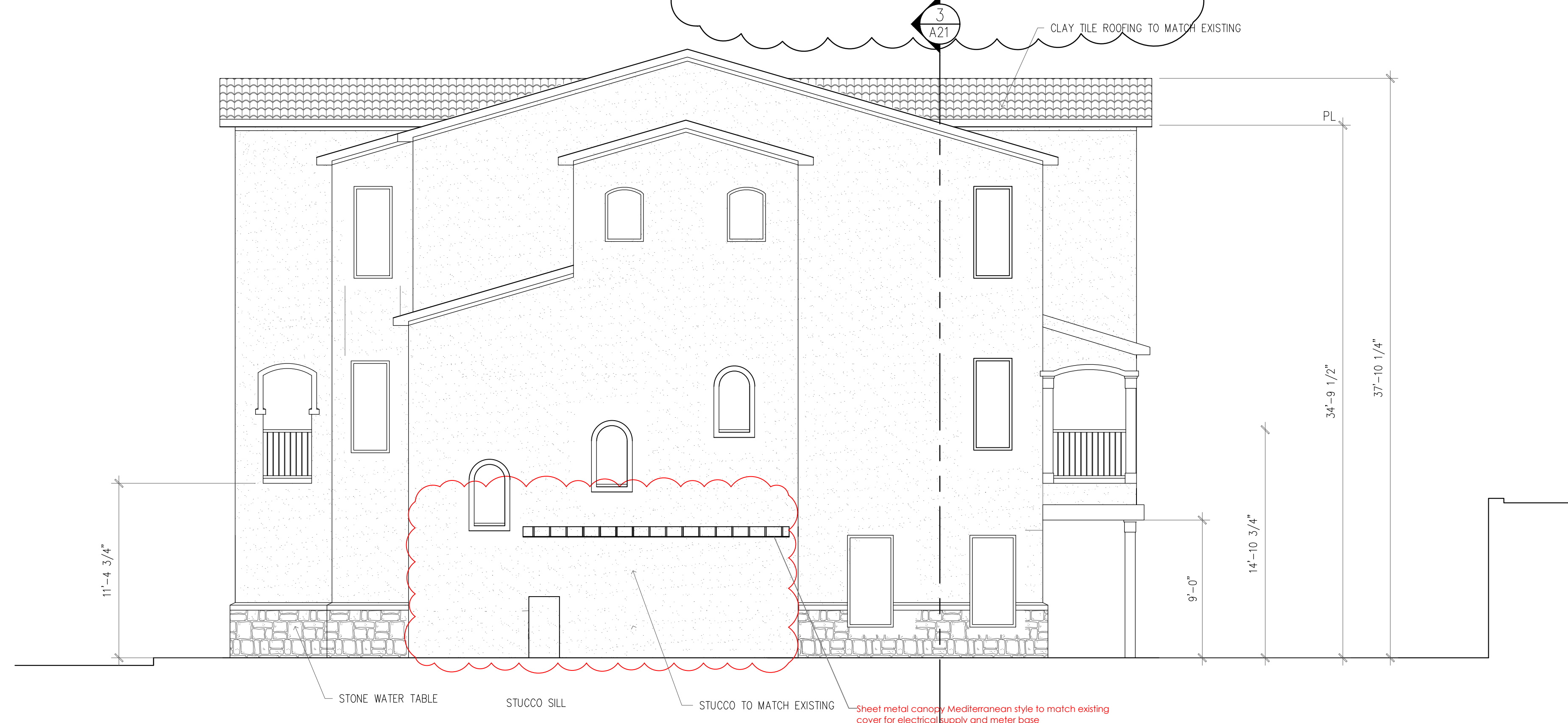
Planning | CM Engineering | Construction Management

DESIGN DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040-19

TX PE FIRM #11525



NORTH ELEVATION
 100% MASONRY 10% STONE 90% STUCCO



WEST ELEVATION
 100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS. THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

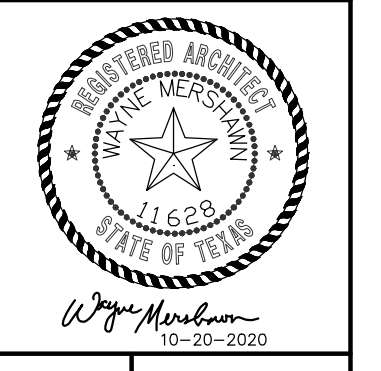
OWNER
PLUTUS 21 DEVELOPMENT
 6116 N. CENTRAL EXP'Y #700
 DALLAS, TEXAS 75206

CASE #SP2020-000

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MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
 2015 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2081

No.	Date	Revision	By
1	11/30/20	REV PER CITY COMMENTS	
1	04/21/2023	ELEVATIONS	Hea @/ahb



PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD
EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"

Date: 04/21/2023

Project No.:
 Designed: GW
 Drawn: GW
 Checked: WM

SHEET
 A4 OF
 26



SOUTH ELEVATION
100% MASONRY 10% STONE 90% STUCCO



EAST ELEVATION
100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS. THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
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OWNER
PLUTUS 21 DEVELOPMENT
 6116 N. CENTRAL EXP'Y #700
 DALLAS, TEXAS 75206

CASE #SP2020-000

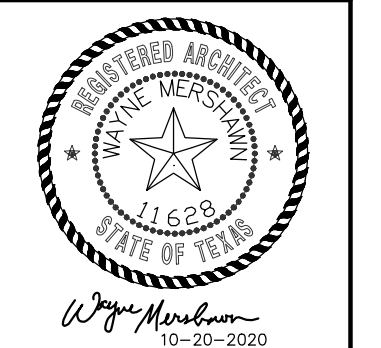
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RESIDENTIAL RESTAURANTS
 INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
 CHURCHES
MERSHAWN

2015 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2081

No.	Date	Revision	By
1	04/21/2023	ELEVATIONS	Hea (h/ha)



PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD
EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"

Date: 04/21/2023

Project No.: 190602

Designed: GW

Drawn: GW

Checked: WM



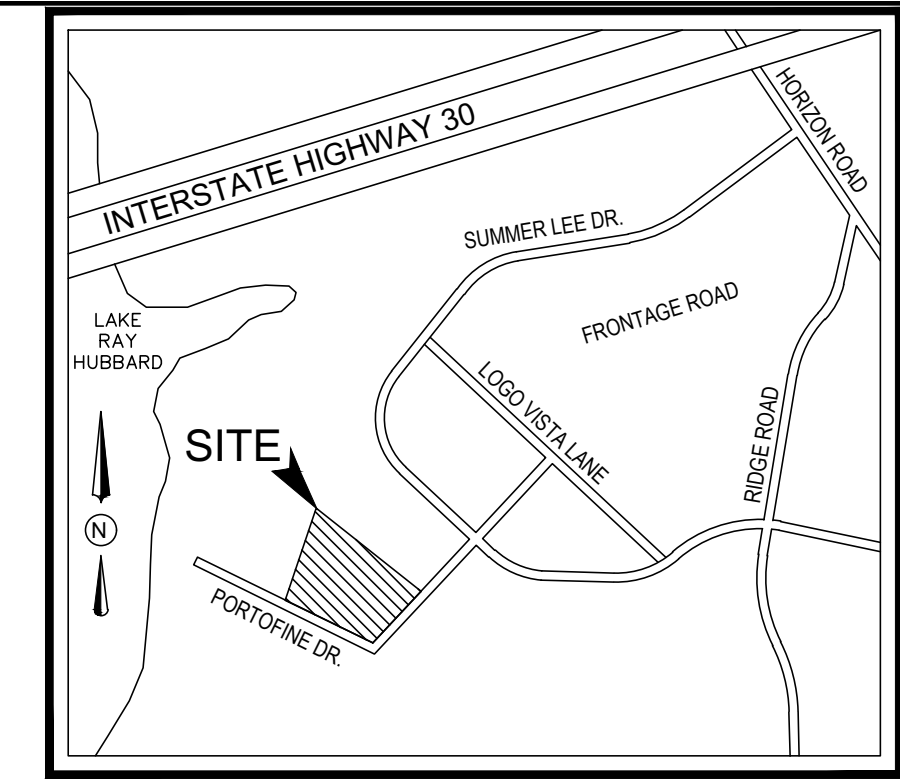












VICINITY MAP
N.T.S.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



11.21.2019

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

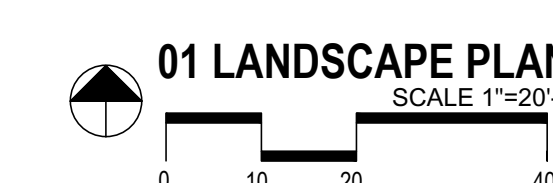
LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM	2	Crepe Myrtle 'Dallas Red'	<i>Lagerstroemia indica 'Dallas Red'</i>	6' ht.	container, 3 or 5 trunks, 4' spread min., tree form container, 13' ht., 5' spread, 5' clear straight trunk k
LO		Live Oak	<i>Quercus virginiana</i>	3" cal.	
SHRUBS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH	14	Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>	5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container, 24" ht., 20" spread
IH	11	Indian Hawthorn 'Clara'	<i>Rhaphiolepis indica 'clara'</i>	5 gal.	
LOR	24	Loropetalum 'Ruby'	<i>Loropetalum chinensis 'Ruby'</i>	5 gal.	
NPH	27	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



WATER'S EDGE AT LAKE RAY HUBBARD
 PORTOFINO DRIVE
 ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 11.21.2019

DATE:
11.21.2019

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.1

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS
 - Refer to bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK
 - Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - Planting (trees, shrubs, and grass)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and Maintenance until final acceptance
 - Guarantee
- 1.3 REFERENCE STANDARDS
 - American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
 - American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
 - Texas Association of Nurserymen, Grades and Standards.
 - Hortis Third, 1976 - Cornell University
- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
 - The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
 - Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
 - Product Data: Submit complete product data and specifications on all other specified materials.
 - Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
 - File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
 - Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid soil shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- A. Delivery:
 - Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
 - Remove rejected plant material immediately from site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

- 2.1 PLANTS
 - A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tips of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
 - B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
 - C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
 - D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
 - E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
 - F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-22 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladeview, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertiland, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo with anchor plate; 6'-0" length, paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original piece of growth.

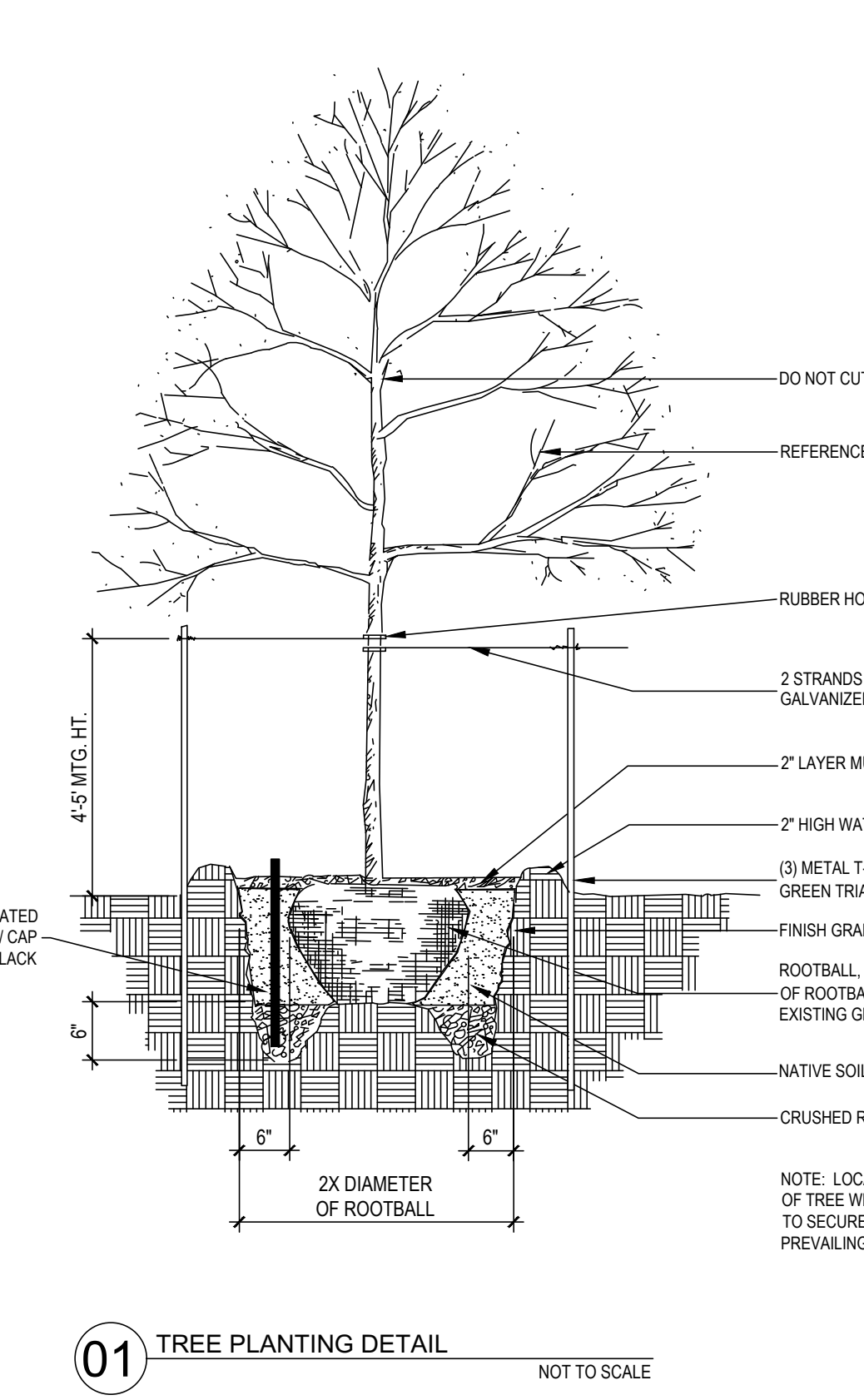
- F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of 'root scoring'.
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

- N. Obstruction below ground. In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
 - Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material

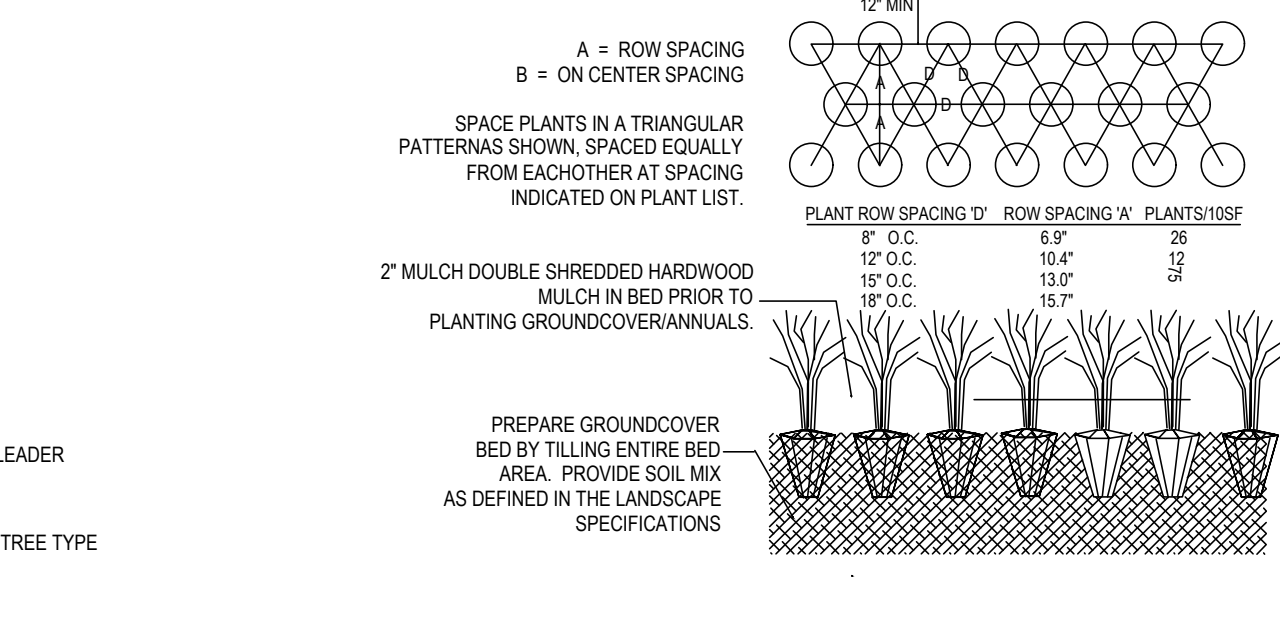
- Q. Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be 3/4" maximum height above grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks.
 - Cut steel edging at 45 degree angle where edging meets sidewalk.

- 3.3 CLEANUP AND ACCEPTANCE
 - A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

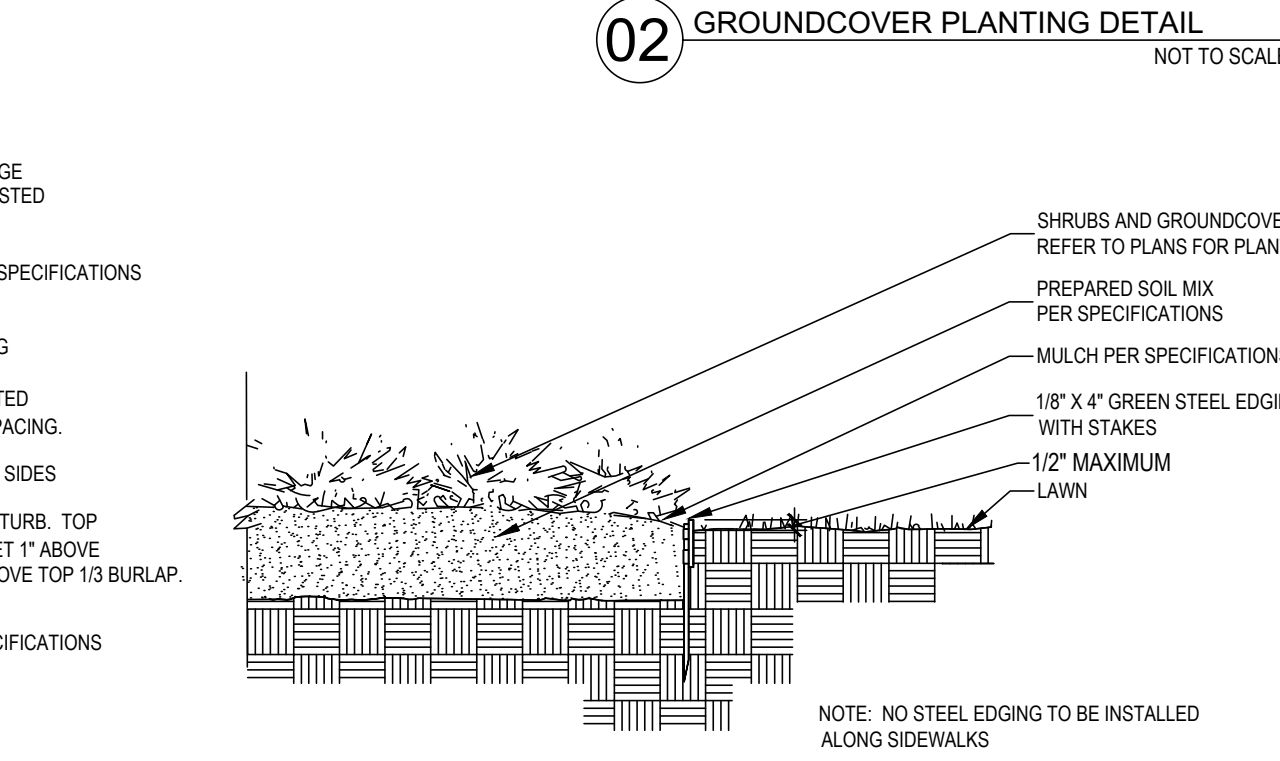
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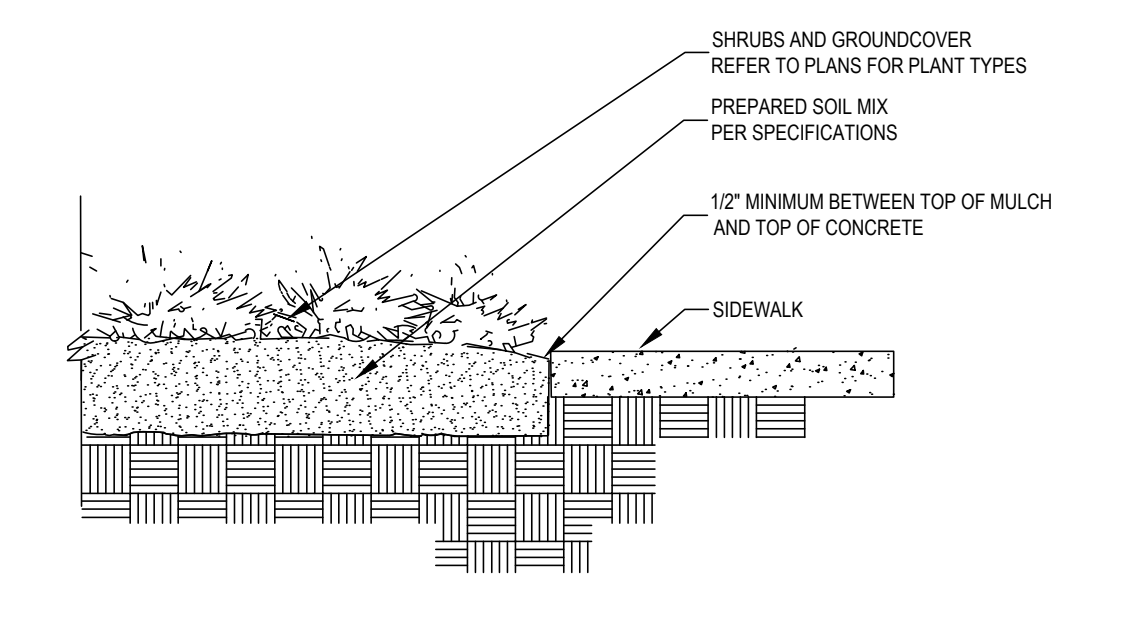
01 TREE PLANTING DETAIL NOT TO SCALE



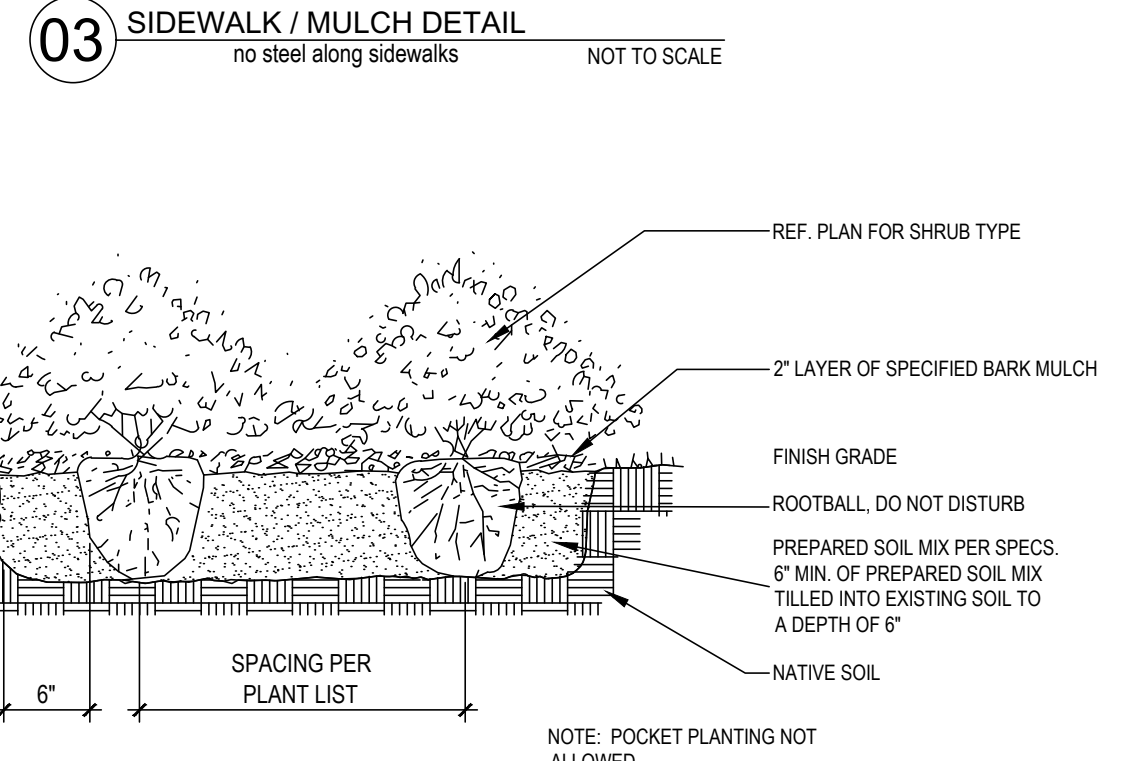
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE

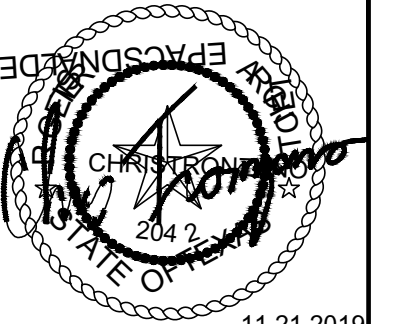


03 SIDEWALK / MULCH DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

LANDSCAPE ARCHITECT
 STUDIO GREEN SPOT, INC.
 1784 W. McDERMOTT DR.
 SUITE 110
 ALLEN, TEXAS 75013
 (469) 369-4448
 CHRIS@STUDIOGREENSPOT.CO



11.21.2019

WATER'S EDGE AT LAKE RAY HUBBARD

PORTOFINO DRIVE ROCKWALL, TEXAS

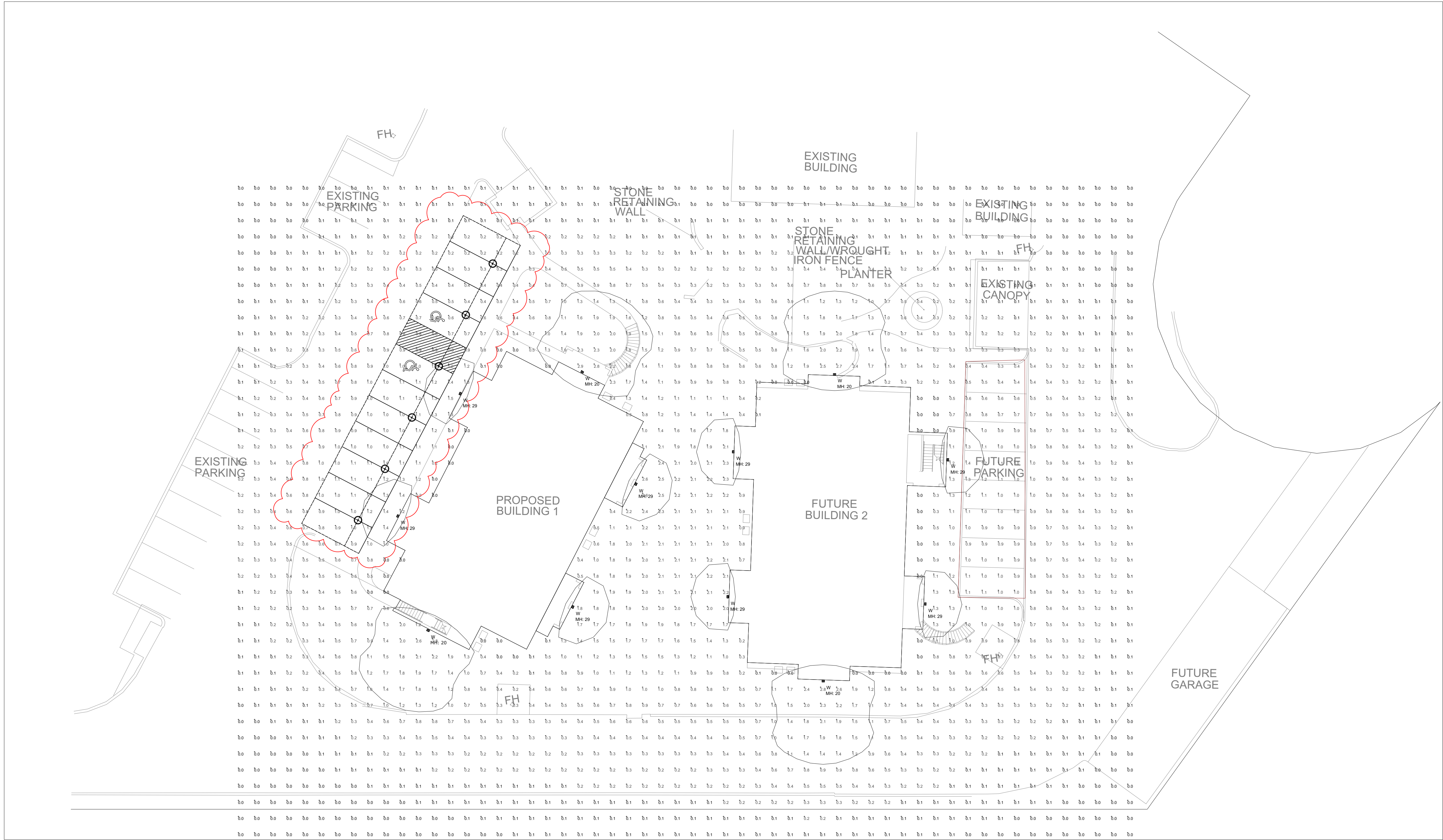
ISSUE: FOR APPROVAL 11.21.2019

DATE: 11.21.2019

SHEET NAME: LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.2



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
☐	W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000
○		6	LUXRITE LED Canopy Light LED 28W 3CCT 3000K	3360	28		0.70	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PARKING1
 Illuminance (Fc)
 Average = 0.83
 Maximum = 1.4
 Minimum = 0.1
 Avg/Min Ratio = 8.30
 Max/Min Ratio = 14.00

PARKING2
 Illuminance (Fc)
 Average = 0.90
 Maximum = 1.4
 Minimum = 0.3
 Avg/Min Ratio = 3.00
 Max/Min Ratio = 4.67

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-028
PROJECT NAME: Site Plan for 1760 Airport Road
SITE ADDRESS/LOCATIONS: 1760 AIRPORT RD

CASE CAPTION: Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	08/23/2023	Approved w/ Comments

08/23/2023: SP2023-028; Site Plan for 1760 Airport Road

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, and addressed as 1760 Airport Road.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (SP2023-028) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property will be need to be platted after the Engineering Department approves the 80.00% engineering/civil plans and approves the subdivision plat to be submitted.

M.5 Provide the City standard Site Plan Signature Block on all sheets of the plans. Please remove the bracketed wording and leave a blank space for the date.

I.6 If the project is intended to be phased, please submit a phasing plan showing the proposed phasing and timing of each phase of the project.

M.7 Site Plan. Please make the following changes to the Site Plan:

- 1) Please add a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
- 2) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Please provide a detail showing conformance to these requirements. [Subsection 01.05(B) of Article 05, UDC]
- 3) Indicate the location and proposed screening for all pad mounted equipment (including the AC units for each building and any transformer boxes). [Subsection 01.05(C) of Article 05, UDC]
- 4) Indicate all easements on the property. There is an easement adjacent to the eastern property line that is not depicted on the Site Plan.

M.8 Landscape Plan. Please make the following changes to the Landscape Plan:

- 1) All parking spaces shall be within 80-feet of a canopy tree. Please provide an exhibit showing conformance to this requirement [Subsection 05.03(E) of Article 08, UDC]
- 2) According to the Residential Adjacency Standards any property line adjacent to a residentially zoned -- including the Agricultural (AG) District -- or used property shall be required to be screened. This can include a masonry wall with canopy trees planted on 20-foot centers or three (3) tiered screening (if approved by the Planning and Zoning Commission). Currently, the western and southern property lines all have this adjacency; however, the southern property line is adjacent to an existing railroad right-of-way. Based

on this staff recommends adding a single row of trees along the southern property line and meeting the screening requirements along the western property line (mostly due to the visibility of the bay doors for the proposed building from John King Boulevard). [Subsection 05.02(B) of Article 08, UDC]

M.9 Photometric Plan:

1) The maximum allowable light intensity as measured at a property line of a non-residential property shall be 0.2 of one (1) foot candle adjacent to rights-of-way and non-residential properties and 0.0 of one (1) foot candle at residential property lines. Please indicate the light levels at the property line adjacent to Airport Road. These light levels appear to exceed the maximum allowable light levels. [Subsection 3.03(C) of Article 07, UDC]

M.10 Building Elevations:

- 1) Provide a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
- 2) The garage bay doors for Buildings 6 & 7 are visible from John King Boulevard and require three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees). Portions of this area are located within the Airport Overlay (AP OV) District, and proper screening cannot be added. Based on this staff recommends that these bay doors be of an upgraded material or appearance to off-set the visibility.
- 3) The Light Industrial (LI) District requires the use of 90.00% masonry materials, and only allows ten (10) percent secondary materials. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
- 4) The use of 20% natural or quarried stone is required on each building façade. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
- 5) The proposed buildings do not meet the primary and secondary articulation standards. [Subsection 05.01(C)(1) of Article 05, UDC]
- 6) Please show that the parapets will be finished with the same materials on both sides. Currently, the building elevations show metal panel on the back sides of the parapets for all Buildings except Building 1. [Subsection 04.01 of Article 05, UDC]

M.11 Exceptions. Based on the plans submitted, staff has identified the following exceptions for this project:

(1) Building Articulation.

- a) Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(1). In this case the two (2) primary facades do not meet these standards.
- b) Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(2). In this case the two (2) secondary facades do not meet these standards.

(2) Primary/Secondary Materials. According to Subsection 05.01.A.1(a) of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90.00% masonry materials and ten (10) percent secondary materials. In this case, the proposed building exceeds the permitted secondary materials and is composed of less than 90.00% primary materials.

(3) Stone. According to Article 05, General Industrial District Standards, of the Unified Development Code (UDC), a minimum of 20.00% natural or quarried stone is required on all building façades.

(4) Screening of Loading Docks. According to Subsection 05.02(A), Loading Docks and Outside Storage Areas, of Article 08, Landscape and Fence Standards, of the of the Unified Development Code (UDC), three (3) tiered screening is required to screen loading docks from adjacent properties.

I.12 In this case, staff has reviewed the proposal and would make the following recommendations: [1] provided upgraded garage bay doors for the garage bay doors facing John King Boulevard, and [2] provide 100.00% primary materials on the northern and southern building façades of Buildings 2-7.

M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance [Subsection 09.02 of Article 11]. Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.

- (4) Increased architectural elements.
- (5) Building materials conforming to the General Overlay District requirements.

M.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on August 29, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Please label this 20' drainage easement.

2. Please show the existing 20' water easement, instrument number 20190000018520. You can either:

- 1) Abandon the 20' water easement and propose a new one throughout your site with the construction of the 12" water main that will stub to the adjacent property.
- 2)Or - adjust your site to avoid the 20' water easement.
- 3. Must be 20' to be outside ex. easement.
- 4. Dimension all parking spaces. Ensure parking is 9'x20'.
- 5. Make a fire lane/water easement. Sanitary sewer will be private.
- 6. Show water easements for Fire Hydrants, Domestic and Irrigation Meters.
- 7. No trees in 20' water line easement.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- 12" water main to be constructed from Airport Road to the rail road track if abandoning the ex. 20' water line easement along eastern property line.
- Required to show ex. and proposed water and sewer on site plan

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape plan A0.3 remove all trees from ex. 20' water line easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	08/25/2023	Approved
No Comments			

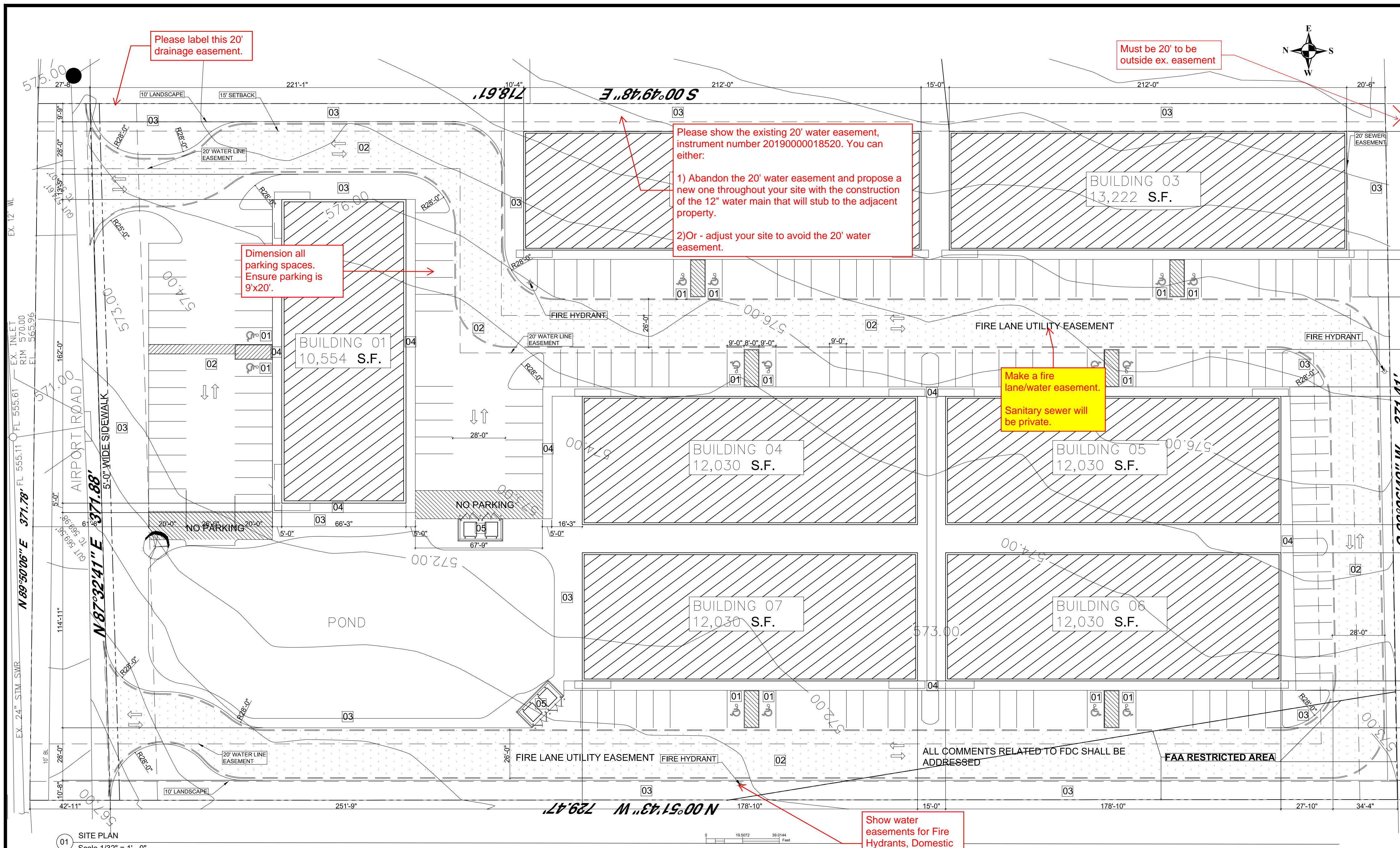
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Needs Review
08/22/2023: Show location of all fire department connections (FDCs) FDC shall be within 50 feet of, facing, and visible from the fire lane. FDC must be within 100 feet of a fire hydrant. The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments
08/21/2023: 1. Texas Ash / Fraxnis albicans is a great variety of Ash, but with Emerald Ash Borer / Agrilus planipennis becoming a major issue in the western part of the DFW Metroplex and migrating in all directions you might consider a different tree variety.			

2. Please provide a head light glare screen on parking along front of Airport Road. This is evergreen shrubs 24" tall at time of planting and planted 36" on center.



ADA & TAS
 FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.
 FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES
 CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
 - The property will need to be platted.

- Drainage Items:**
- No detention in 100yr flood plain.
 - Detention is required for additional impervious area.
 - Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
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 - Parking to be 20x9' min.
 - Sidewalk required along public roadways.

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 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - Landscape plan A0.3 remove all trees from ex. 20' water line easement

17. ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
 18. FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
 19. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING	REQUIRED GPM:	DURATION:	NUMBER OF HYDRANTS REQUIRED / PROVIDED	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))
BUILDING 01	2,250	2H	2REQ / 2PROV	NO
BUILDING 02 & 03	2,500	2H	3REQ / 3PROV	NO
BUILDING 04, 05, 06 & 07	2,500	2H	3REQ / 3PROV	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

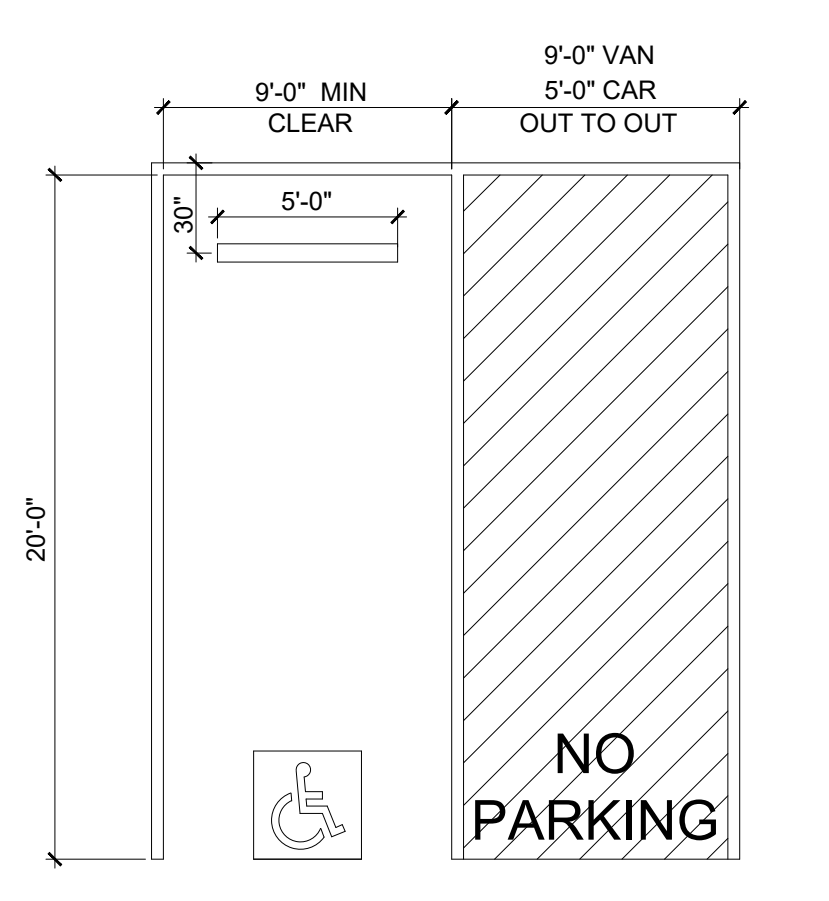
SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

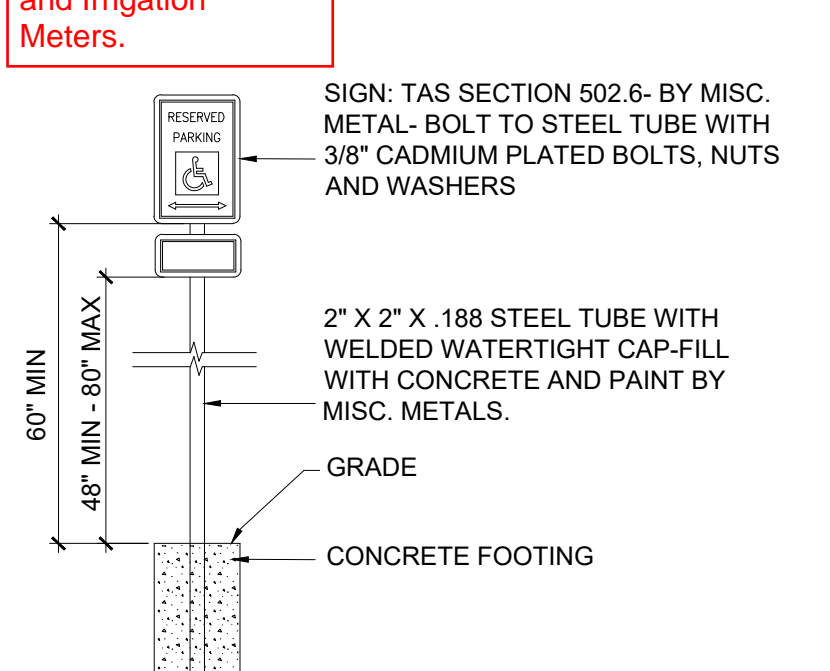
WITNESS OUR HANDS, this ___ day of _____, 2023.

 Planning & Zoning Commission, Chairman

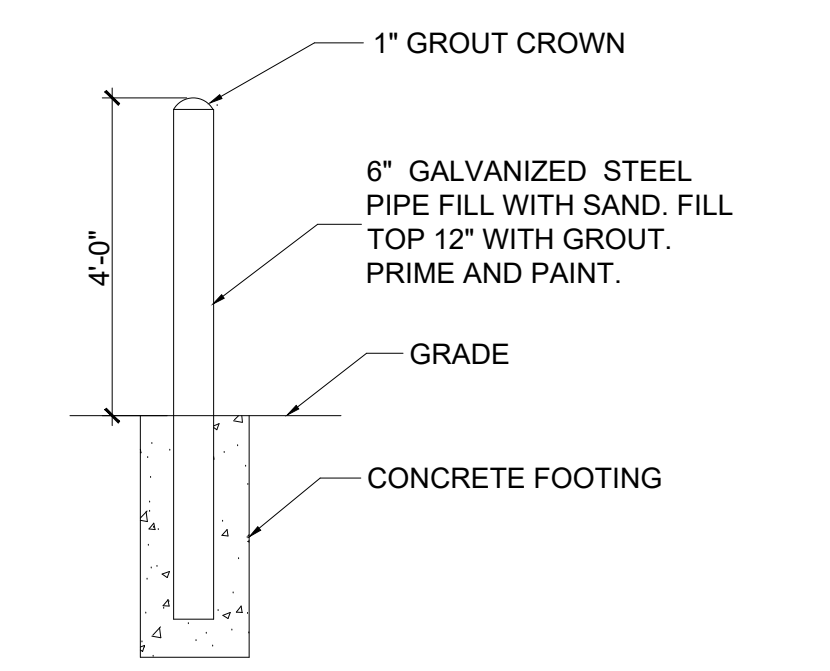
 Director of Planning and Zoning



02 HANDICAP SPACE & AISLE
 Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST
 Scale 3/8" = 1'-0"



04 BOLLARD
 Scale 3/8" = 1'-0"

NOTES:
 1. HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL REGULATIONS.
 2. SIGNS SHALL BE POST MTD. WITH POST LOCATED BETWEEN BUILDING AND SIDEWALK, CENTERED ON PARKING SPACE.
 3. SIGNS SHALL BE POST MTD. WITH POSTS LOCATED BETWEEN BUILDING AND CURB, CENTERED ON PARKING SPACE.

RS&G ENGINEERING

13501 KATY FREEWAY
 SUITE 3180
 HOUSTON, TEXAS 77079
 PH. 713-763-7777

project
ROCKWALL OFFICES WAREHOUSES
 at
0 AIRPORT ROAD
ROCKWALL, TX 75087

ISSUE DATE: 08/17/23

05/19/2023

SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
 23420.02 A0.1

TYPE FIRM #: 15498

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission: Chairman
Director of Planning and Zoning

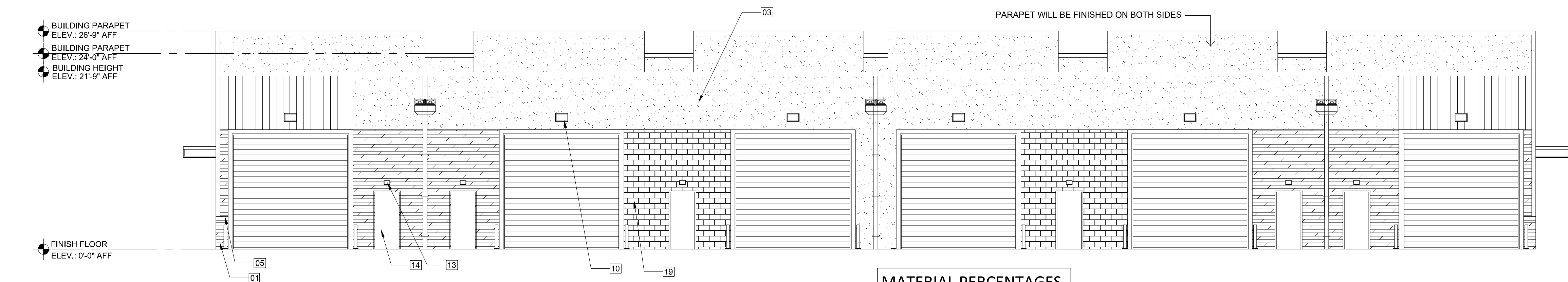
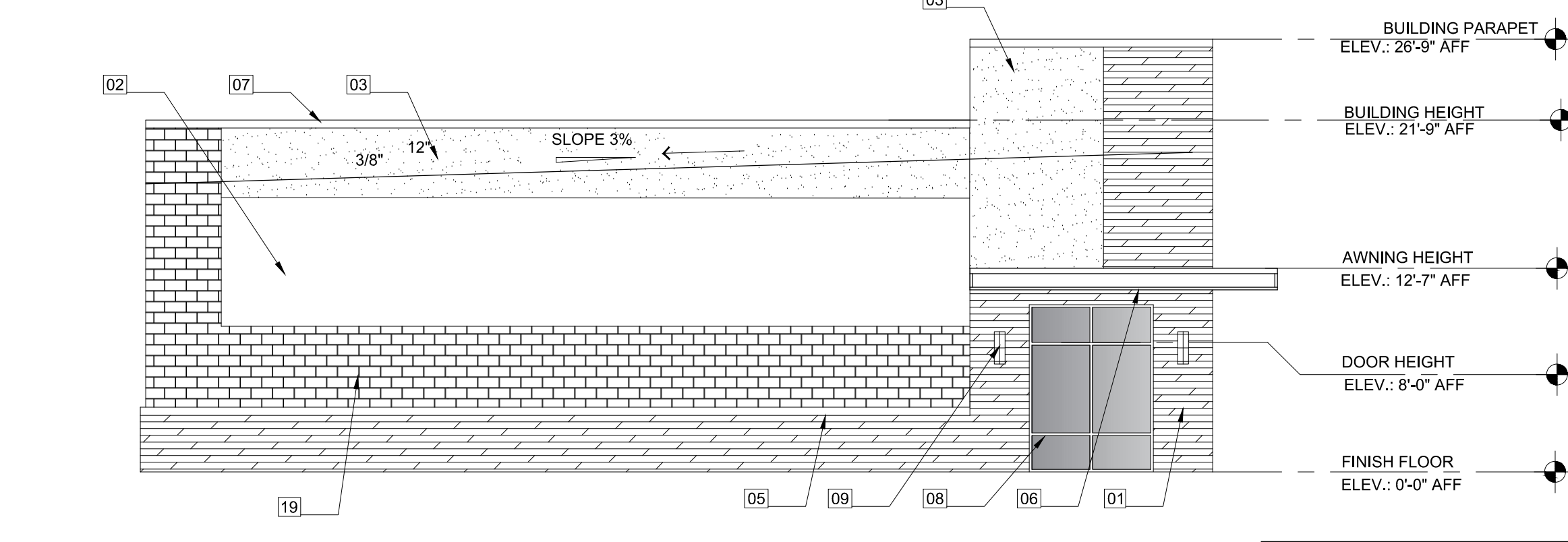
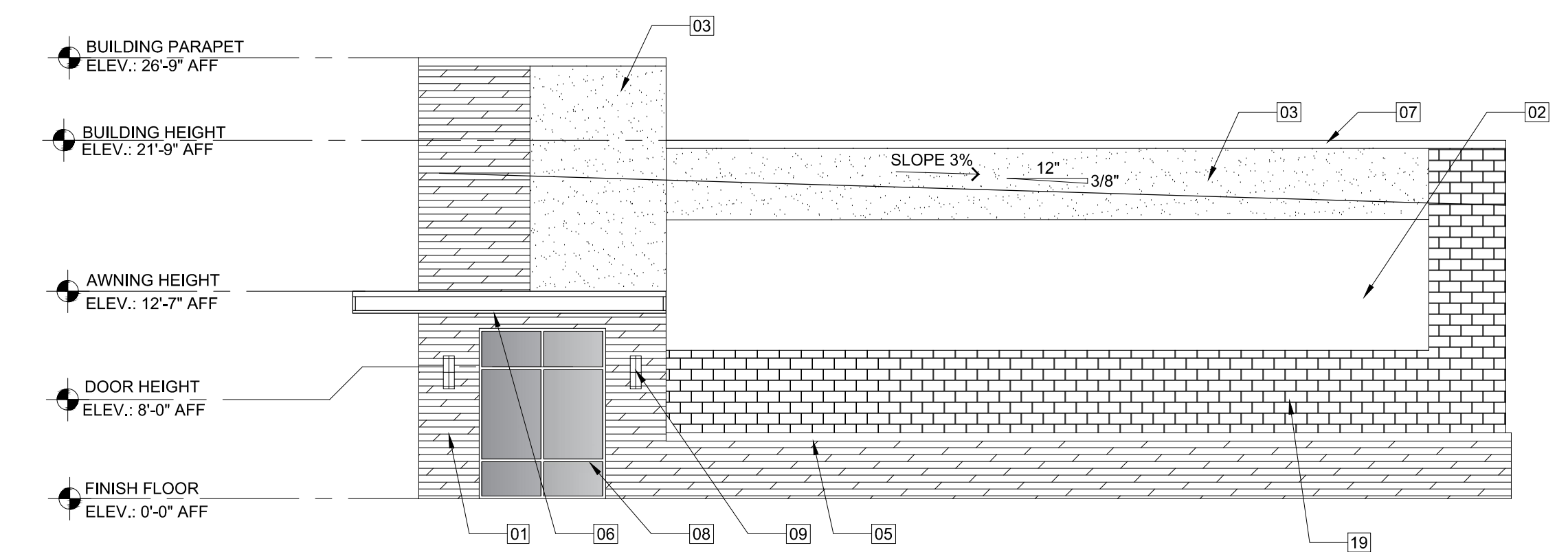
HVAC UNITS TO BE PLACED ON ROOF
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.



WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSNE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)

RSG ENGINEERING

TBPE FIRM #: 15498

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

NO.	REVISIONS

ISSUE DATE: 08/17/23

BUILDING 01



EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

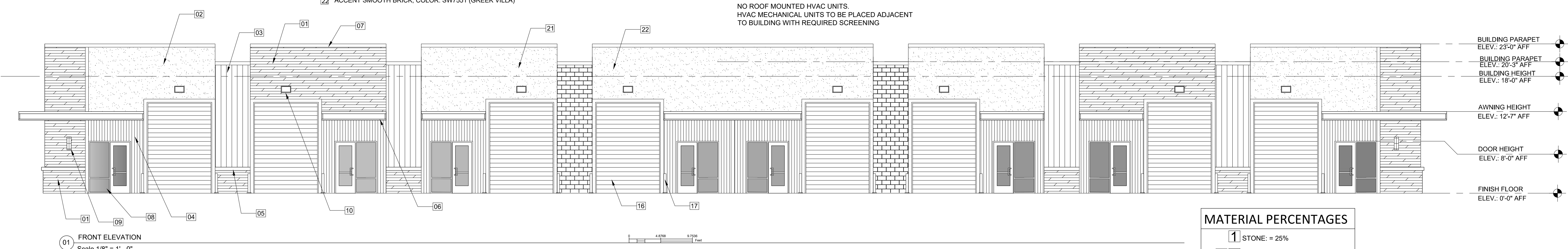
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



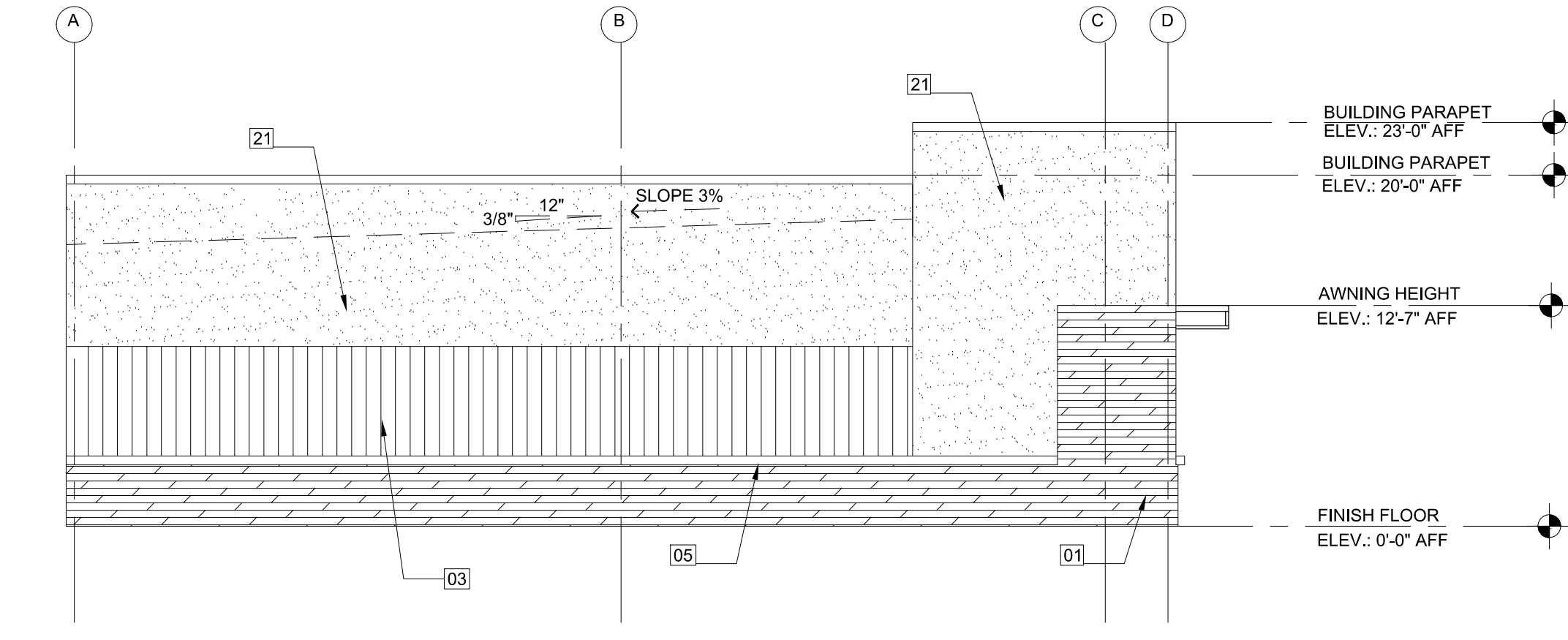
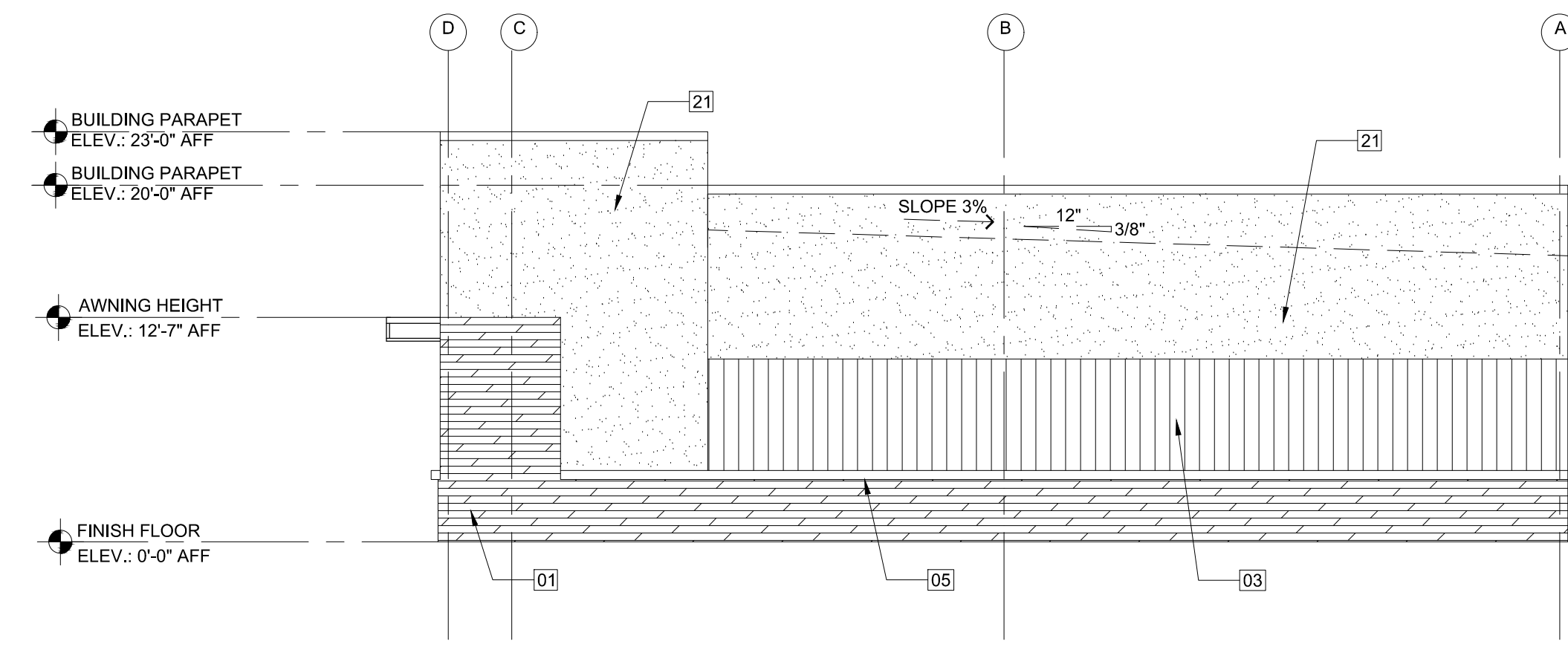
NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

1	STONE = 25%
3	4 METAL SIDING = 18%
21	STUCCO = 50%
22	BRICK = 7%

WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS

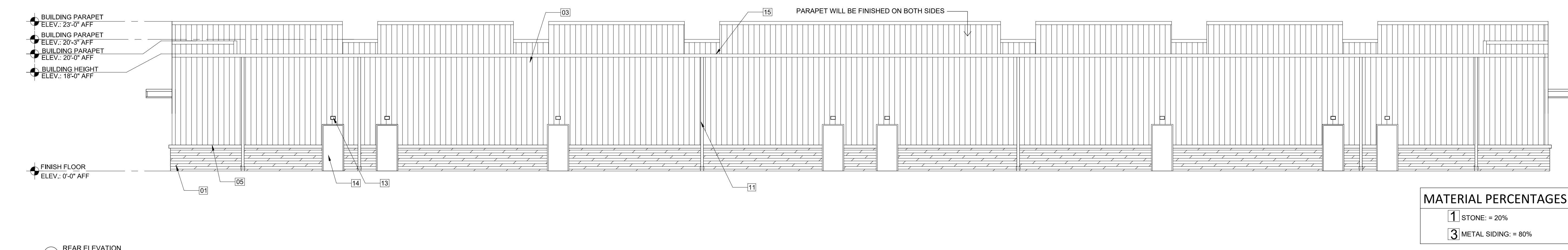


MATERIAL PERCENTAGES

1	STONE = 22%
3	METAL SIDING = 28%
21	STUCCO = 50%

MATERIAL PERCENTAGES

1	STONE = 22%
3	METAL SIDING = 28%
21	STUCCO = 50%



PARAPET WILL BE FINISHED ON BOTH SIDES

MATERIAL PERCENTAGES

1	STONE = 20%
3	METAL SIDING = 80%

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:
PROJECT No: SHEET No:
23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
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- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBRALTAR)
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- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
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- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO. COLOR: SW 7074 (SOFTWARE)
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GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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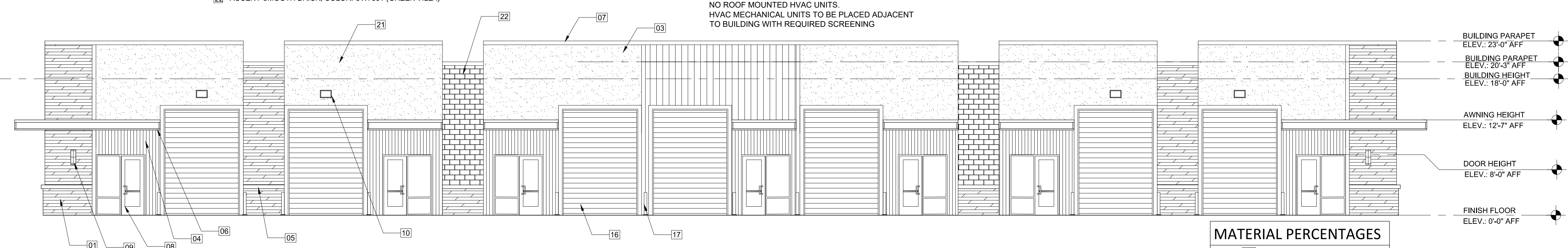
WITNESS OUR HANDS, this ___ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
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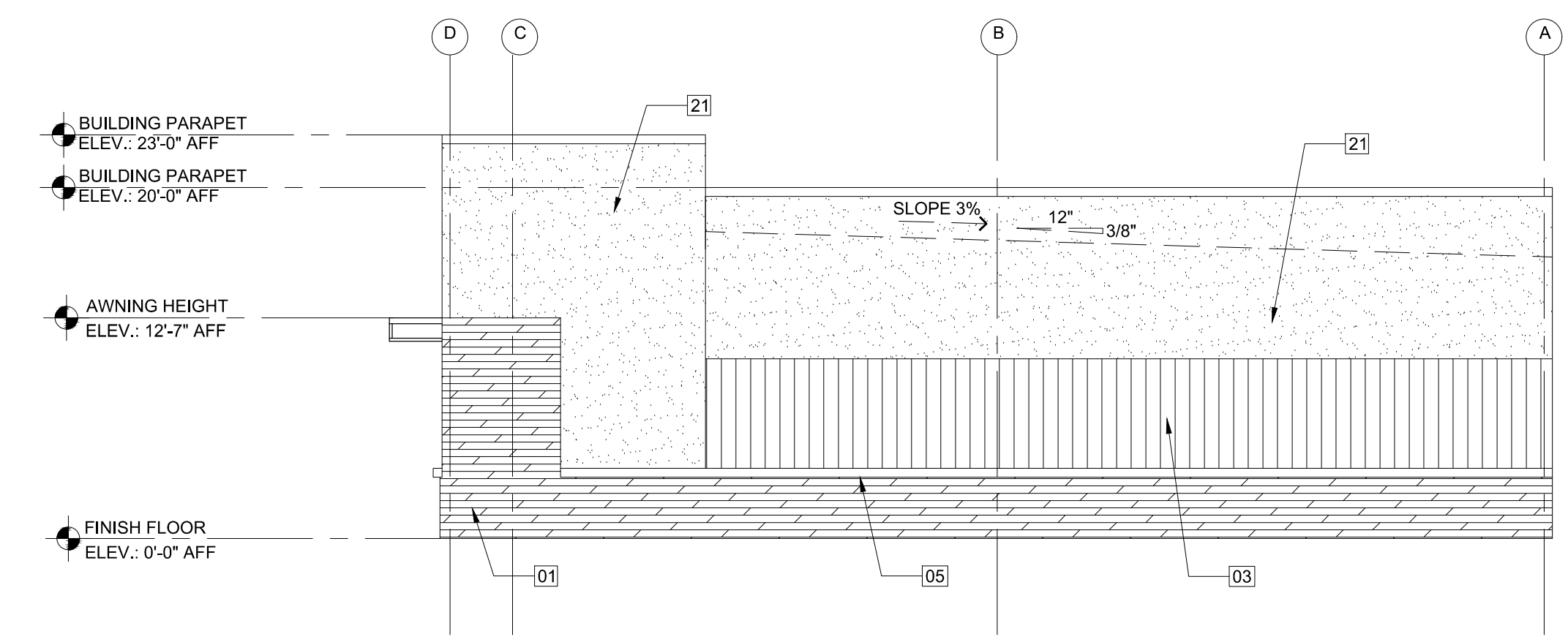
NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

MATERIAL PERCENTAGES

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

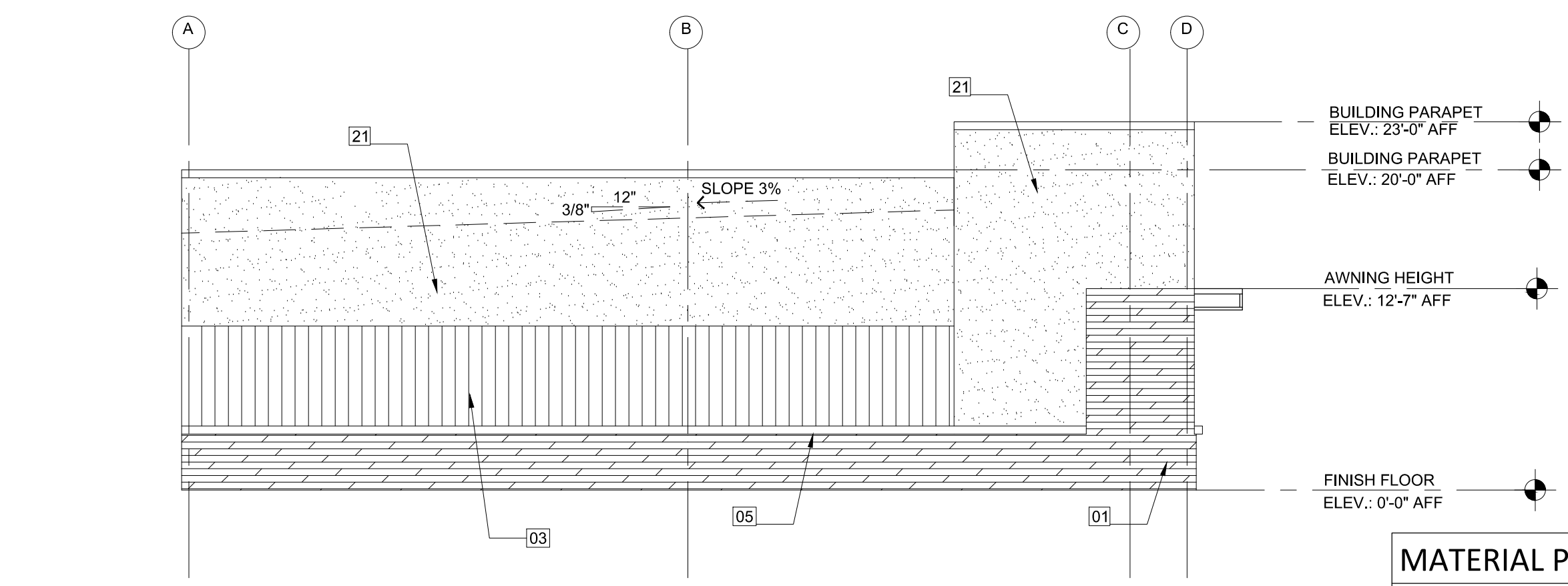
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

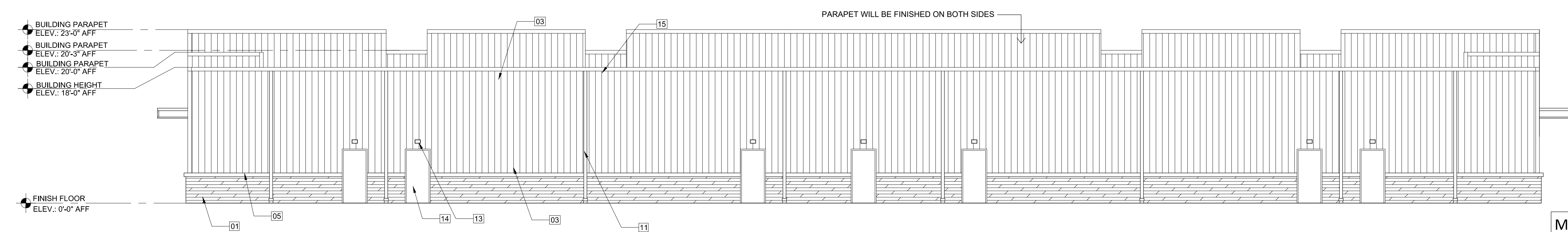
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

TBP FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

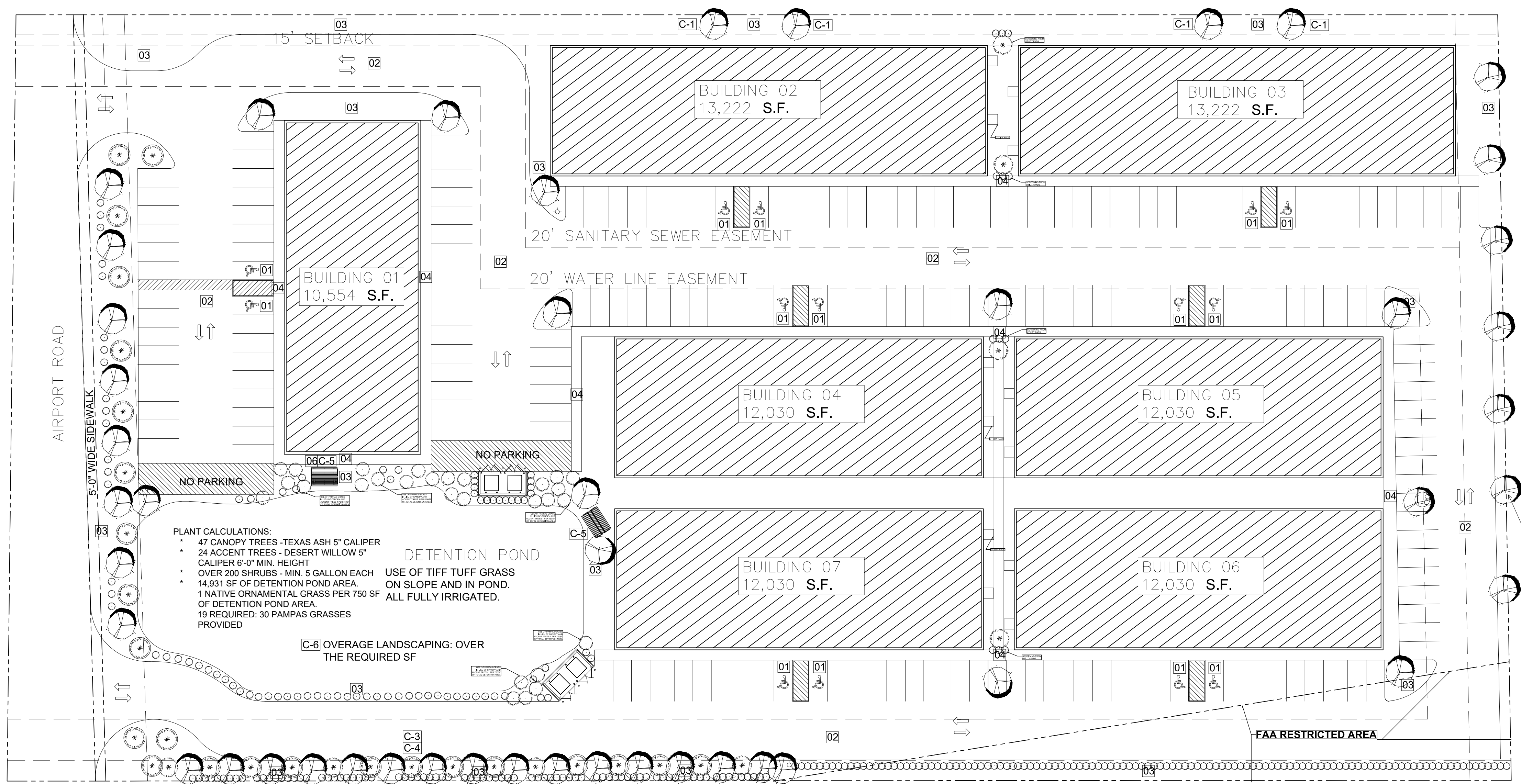
BUILDINGS
04, 05, 06 & 07

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0



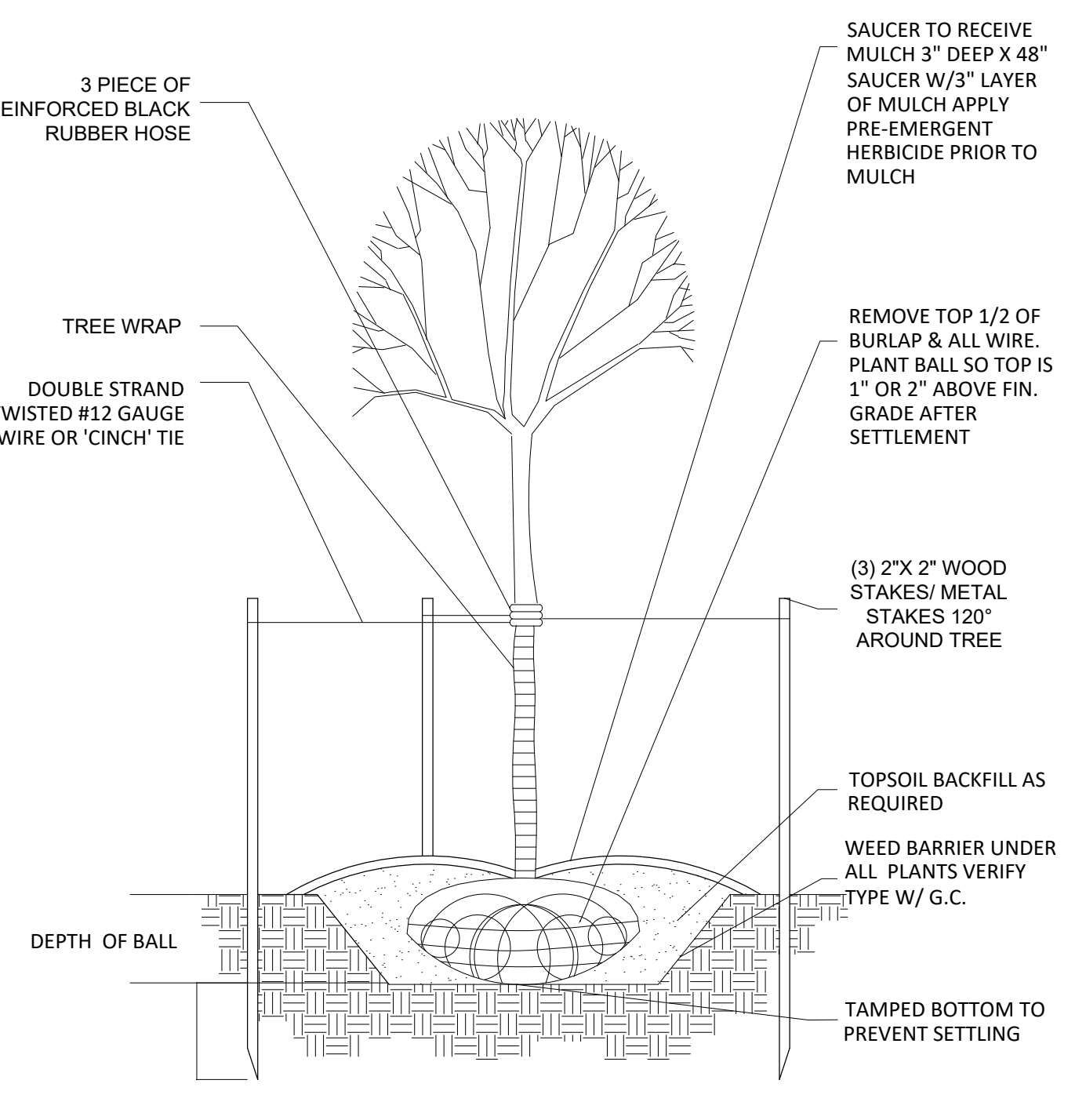
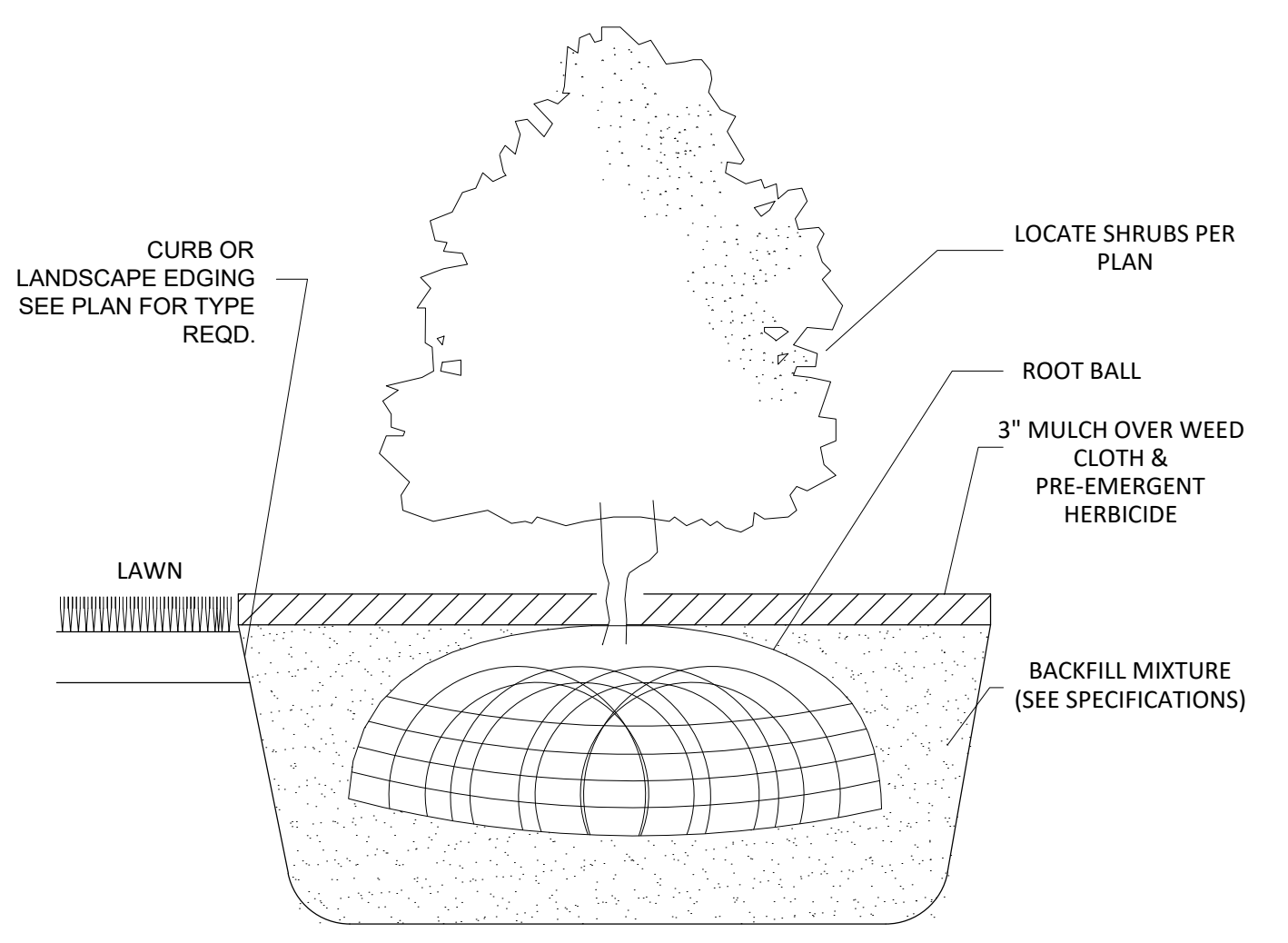
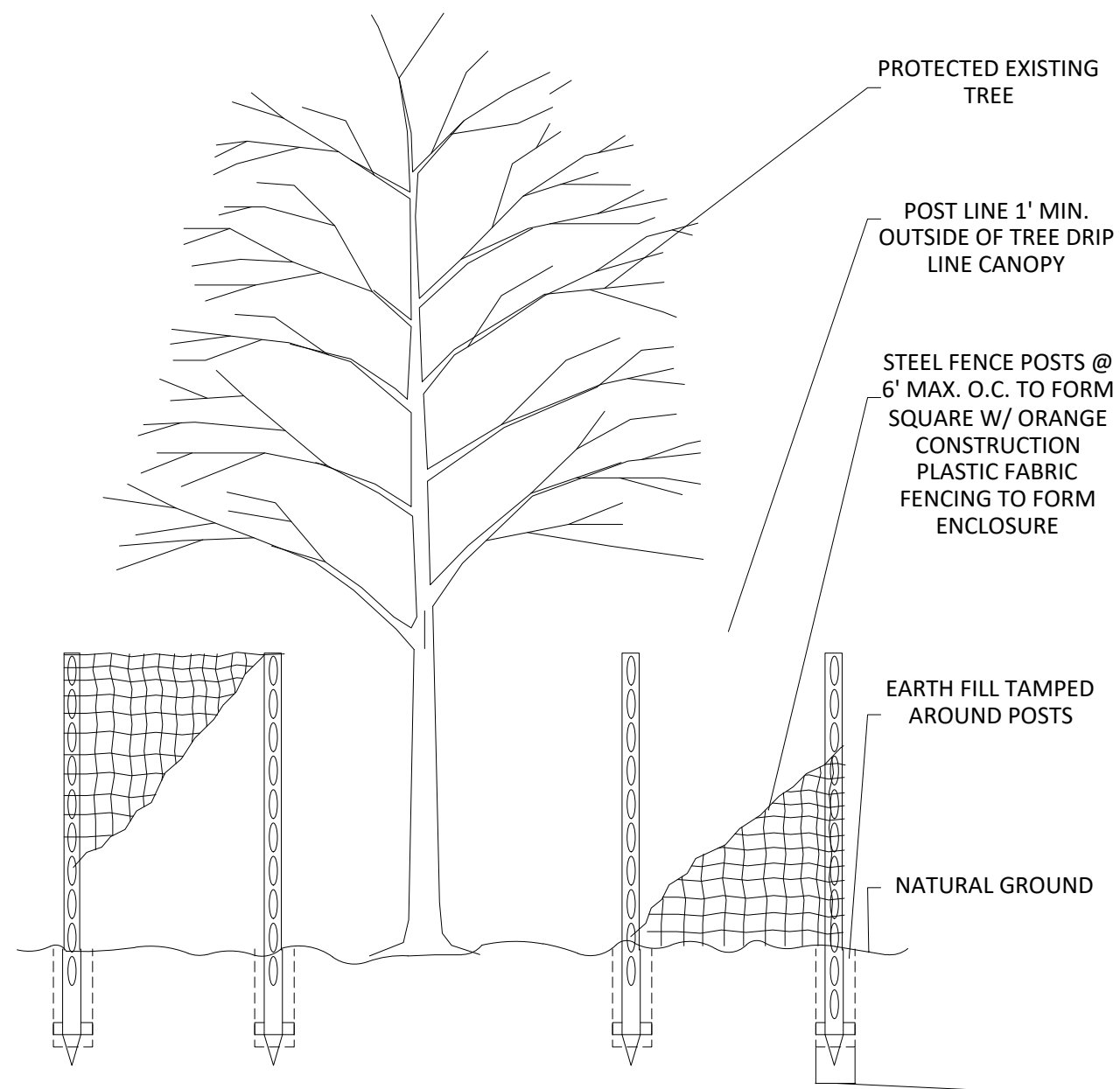
PLANT CALCULATIONS:

- 47 CANOPY TREES - TEXAS ASH 5" CALIPER
- 24 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA.
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.

01 SITE PLAN
Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

KEYED NOTES

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER
- C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
- C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
- C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
- C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF
 TOTAL IMPERVIOUS COVER: 205,736 SF
 TOTAL PERVIOUS COVER: 63,340 SF
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
 - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
 - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
 - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RS&G ENGINEERING

13501 KATY FREEWAY
 SUITE 3180
 HOUSTON, TEXAS 77079
 PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
 at
 0 AIRPORT ROAD
 ROCKWALL, TX 75087

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE DATE: 08/17/23

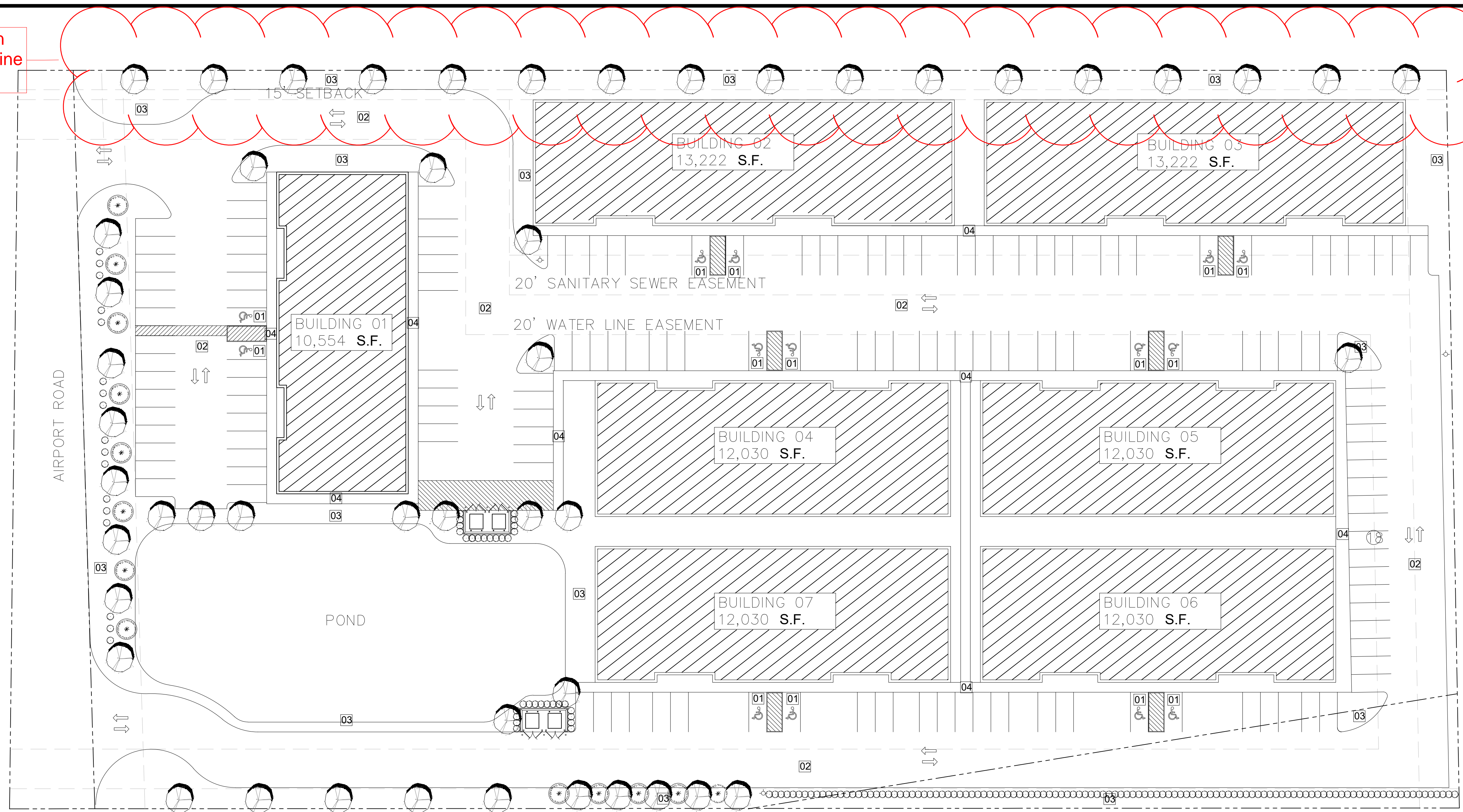
05/19/2023

LANDSCAPE

DRAWN BY: _____ CHECKED: _____

PROJECT No: 23420.02 SHEET No: A0.3

No trees in 20' water line easement



01 SITE PLAN
Scale 1/32" = 1' - 0"

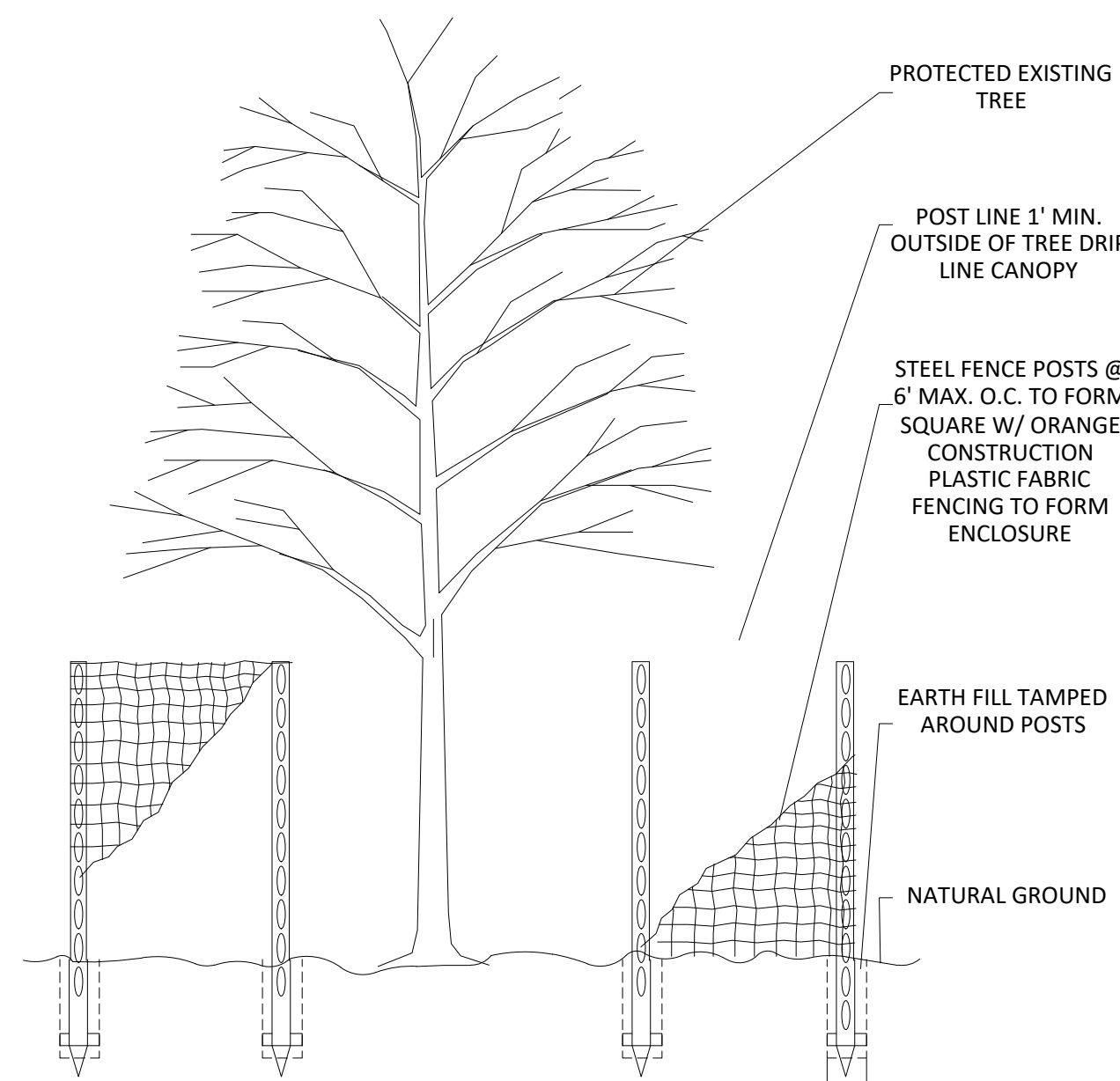
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

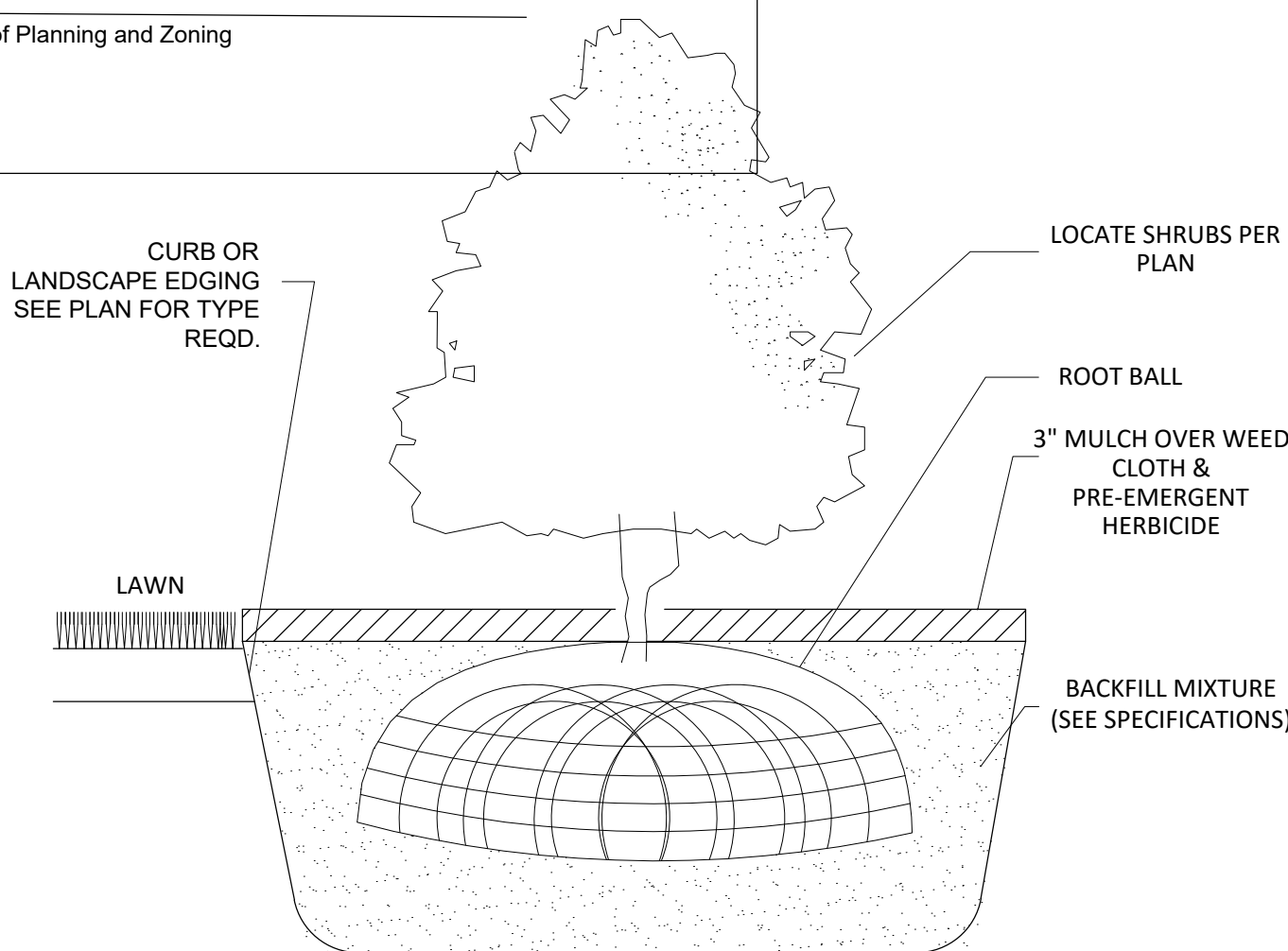
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

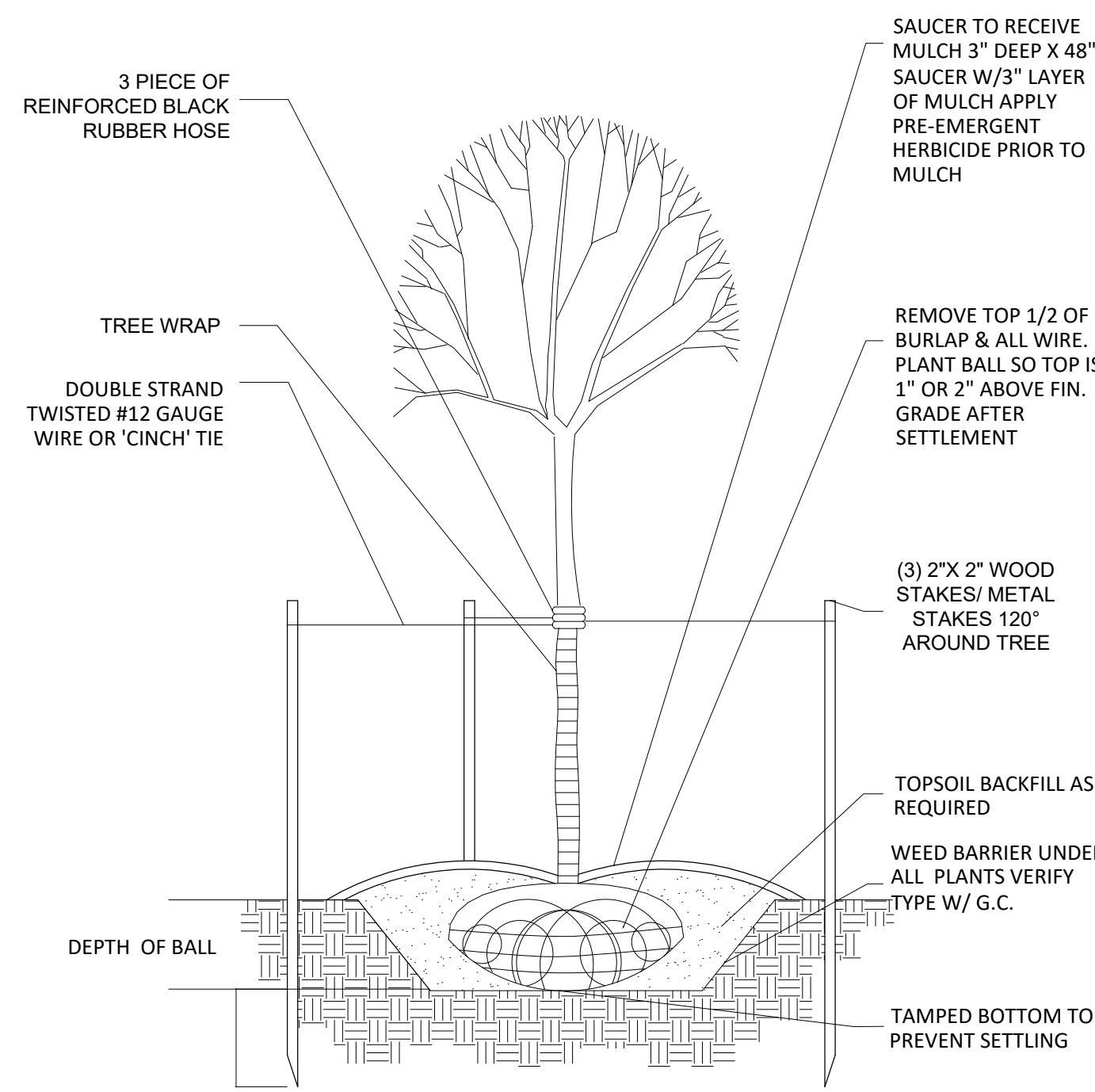
Director of Planning and Zoning



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE



04 TREE PLANTING
NOT TO SCALE

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

KEYED NOTES

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES

NOTES

- 1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
- 2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
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- 3- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
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- 7- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
- 8- GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
- 9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
- 10- AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

Treescape CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

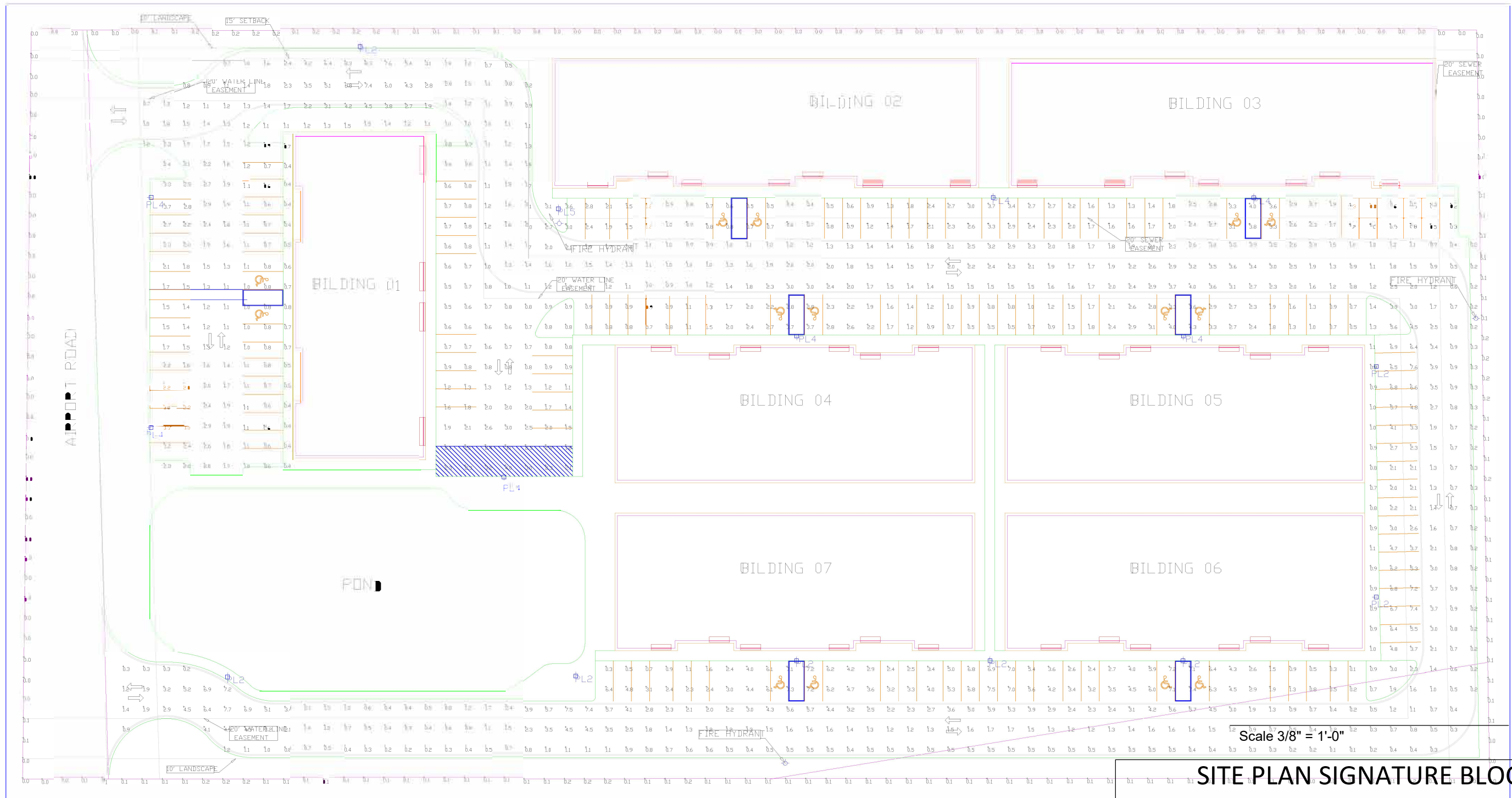
ISSUE DATE: 05/19/23

05/19/2023

TREESCAPE

DRAWN BY: CHECKED:

PROJECT No SHEET No:
23420.02 A0.3



SITE PLAN SIGNATURE BLOCK

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

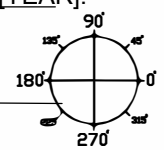
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].
Planning & Zoning Commission, Chairman
Director of Planning and Zoning



Peterson, Scharck & Associates, Inc.
10855 Tanner Rd.
Houston, TX 77041
applications@psa-lighting.com

XXX
XXX

Rockwall
Flexspace Center
- Site Ltg

07-11-23
SR



REVISIONS

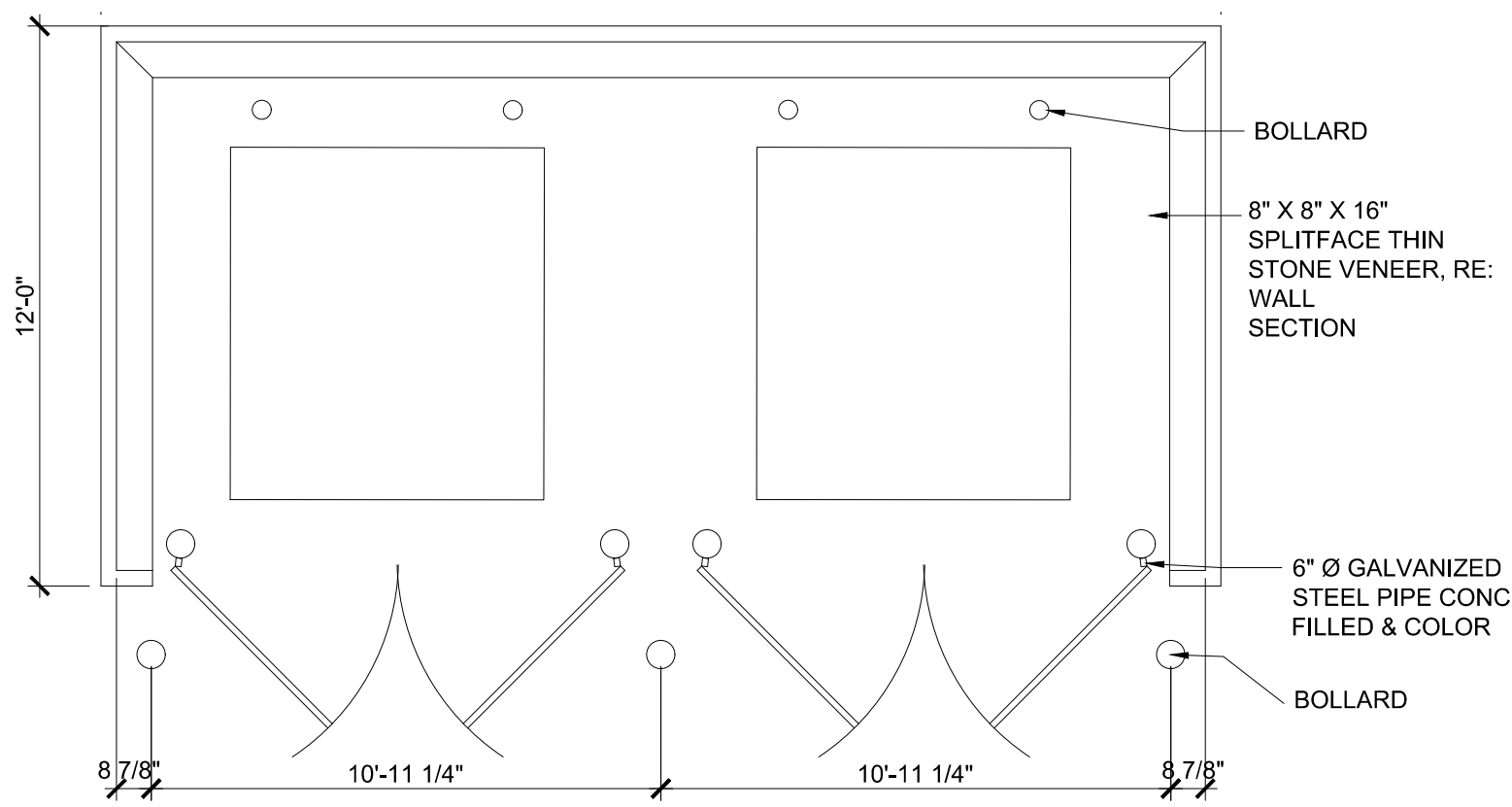
ISSUE DATE: 07/11/23

05/19/2023 *jm*

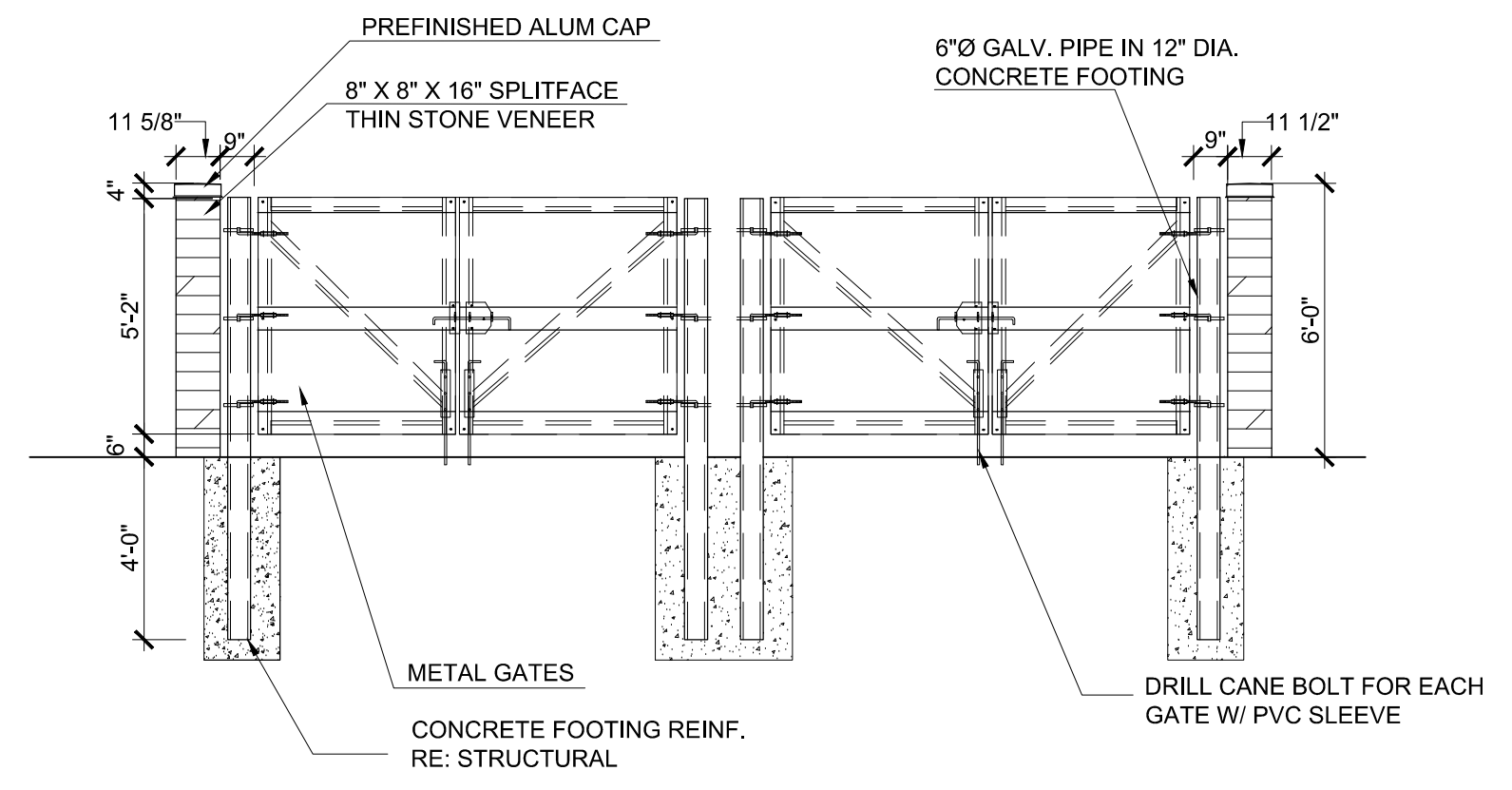
DUMPSTER DETAIL

DRAWN BY: CHECKED:

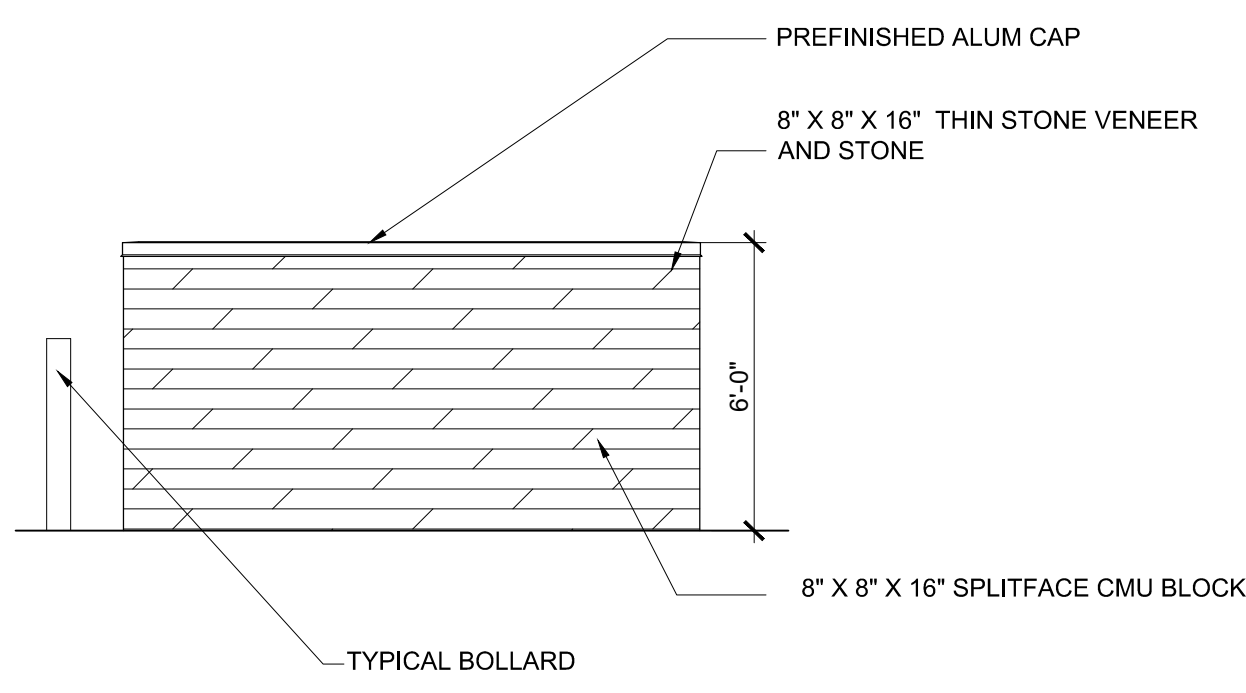
PROJECT No: SHEET No:
23420.02 A0.2



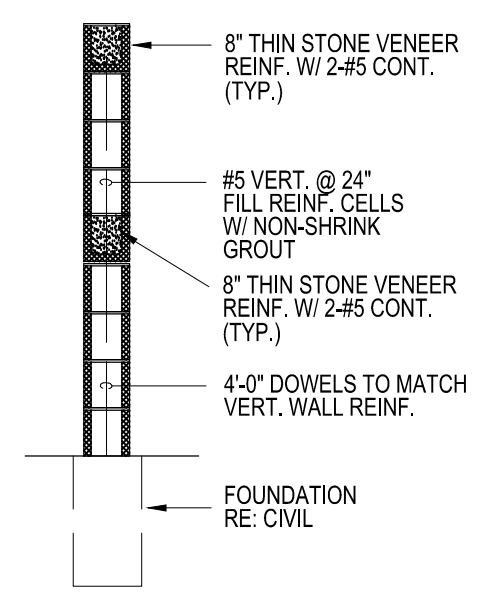
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

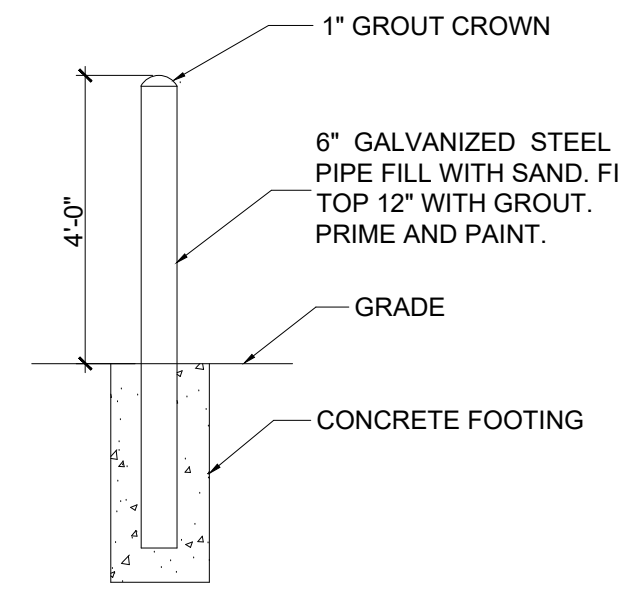
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT] 1

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

NOTARY VERIFICATION [REQUIRED]

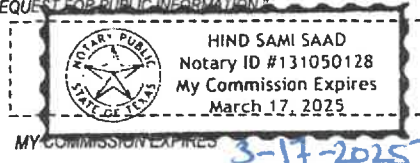
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Boy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

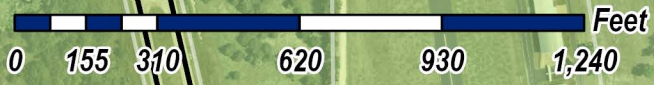
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1700 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August 2023

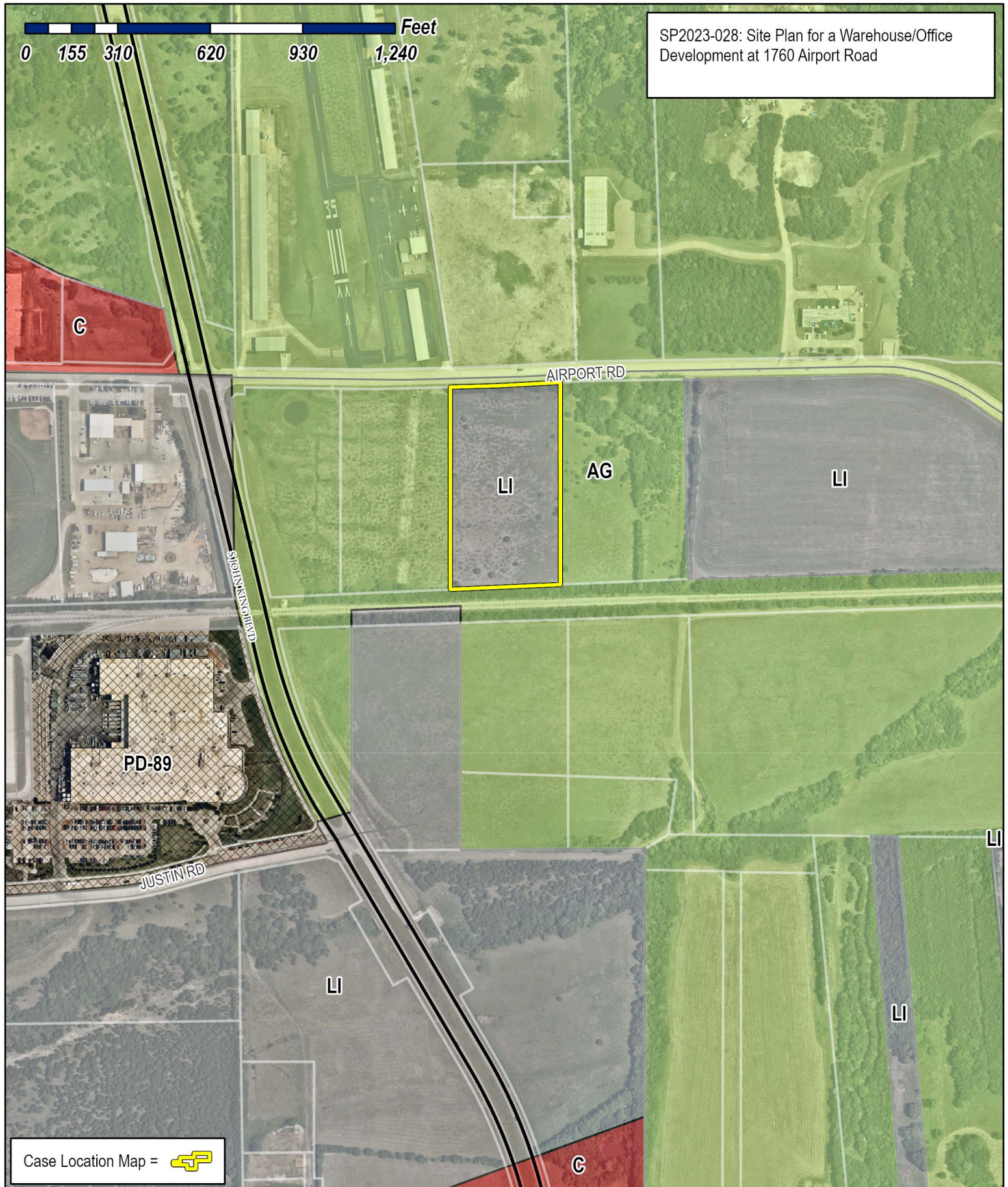
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2023-028: Site Plan for a Warehouse/Office Development at 1760 Airport Road



Case Location Map =

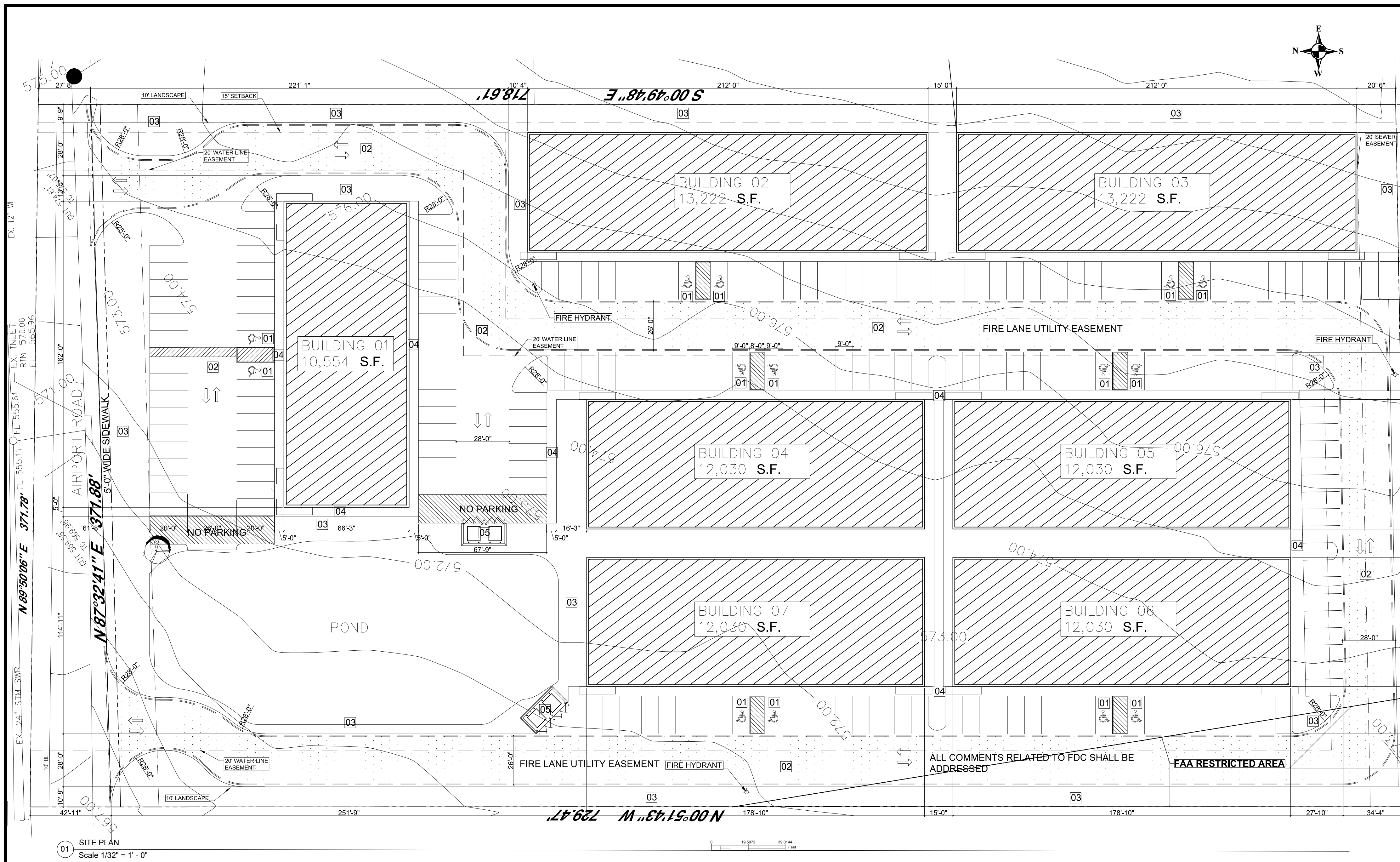


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH
- WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

FIRE LANE

FIRE LANE
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

NOTE PARKING

- NOTE 1:
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

PARKING REQUIREMENT

WAREHOUSE TOTAL AREA: 85,118 SF
OFFICES: 9,852 / 300 : 33 SPACES
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN
Scale 1/32" = 1' - 0"

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

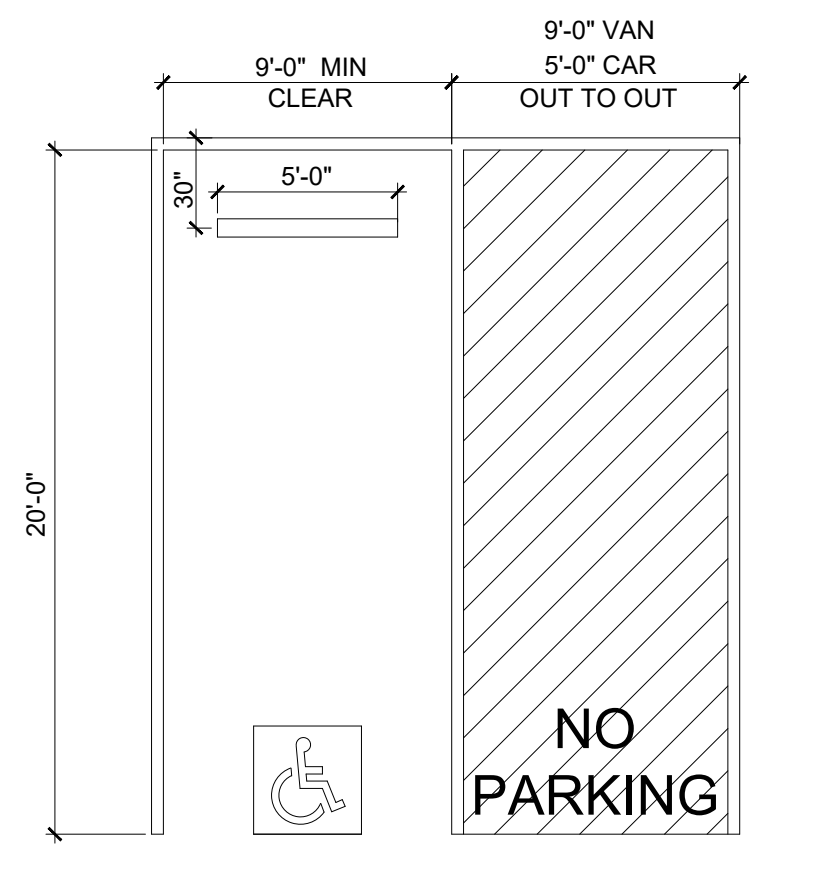
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

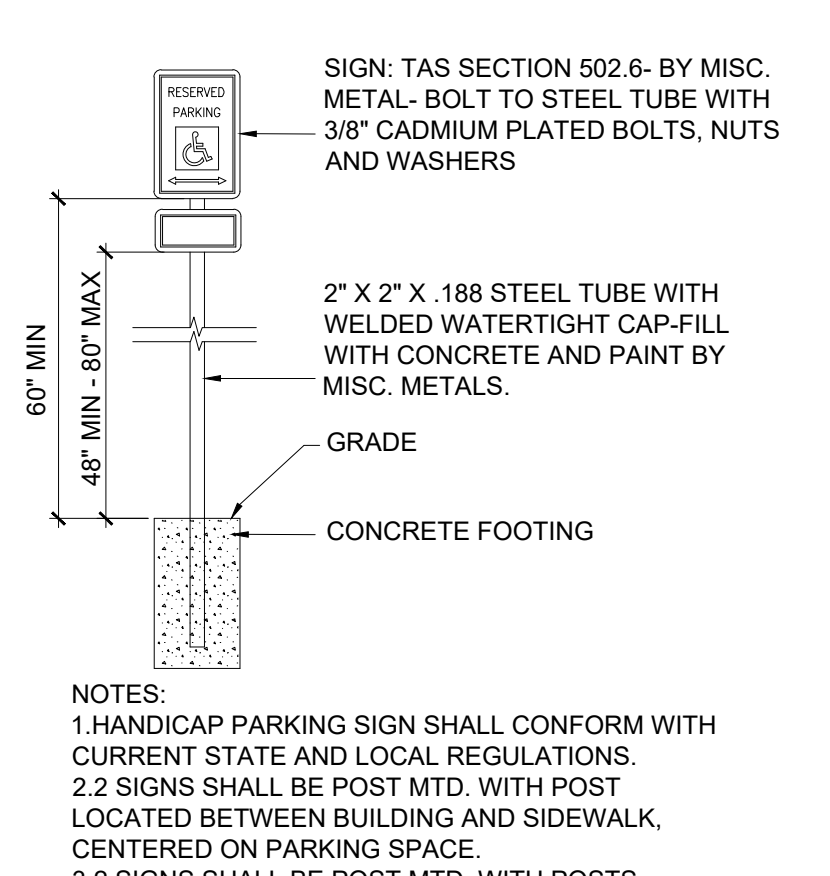
WITNESS OUR HANDS, this ___ day of _____, 2023.

Planning & Zoning Commission, Chairman

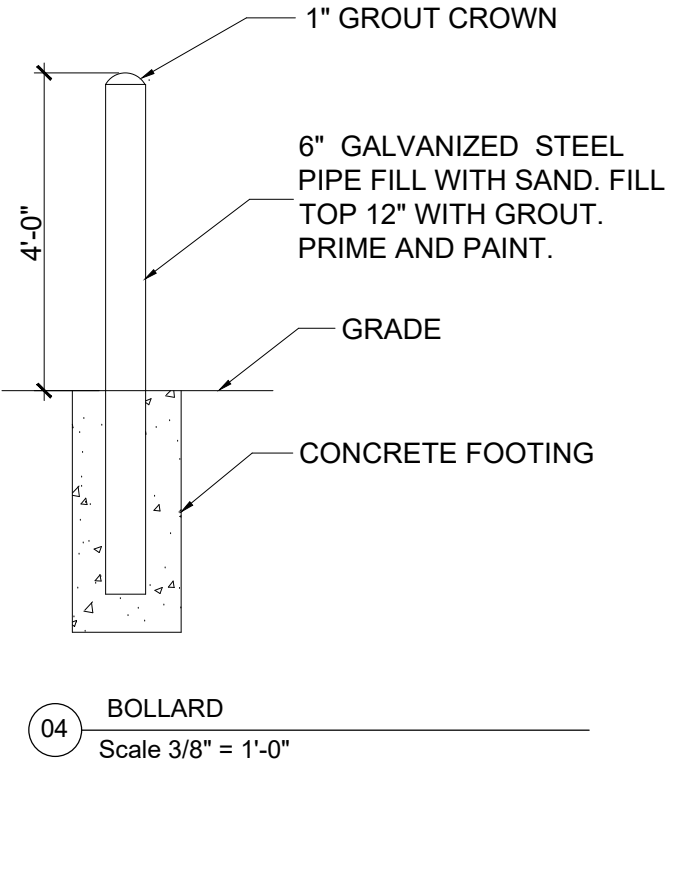
Director of Planning and Zoning



02 HANDICAP SPACE & AISLE
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST
Scale 3/8" = 1'-0"



04 BOLLARD
Scale 3/8" = 1'-0"

RS&G ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-763-7777

TYPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS	

ISSUE DATE: 08/17/23

05/19/2023

SITE PLAN

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission: Chairman
Director of Planning and Zoning

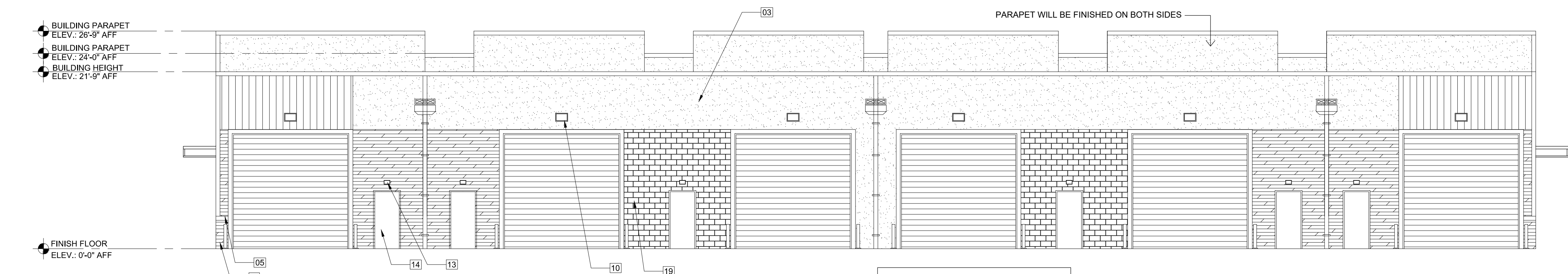
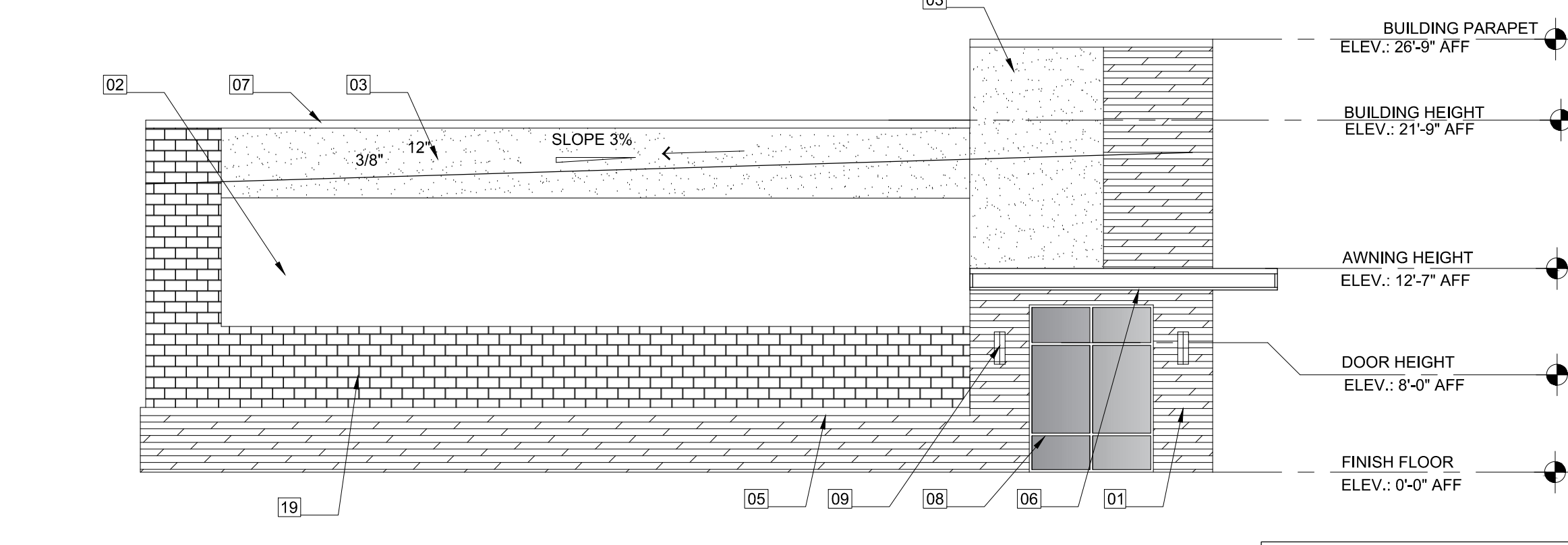
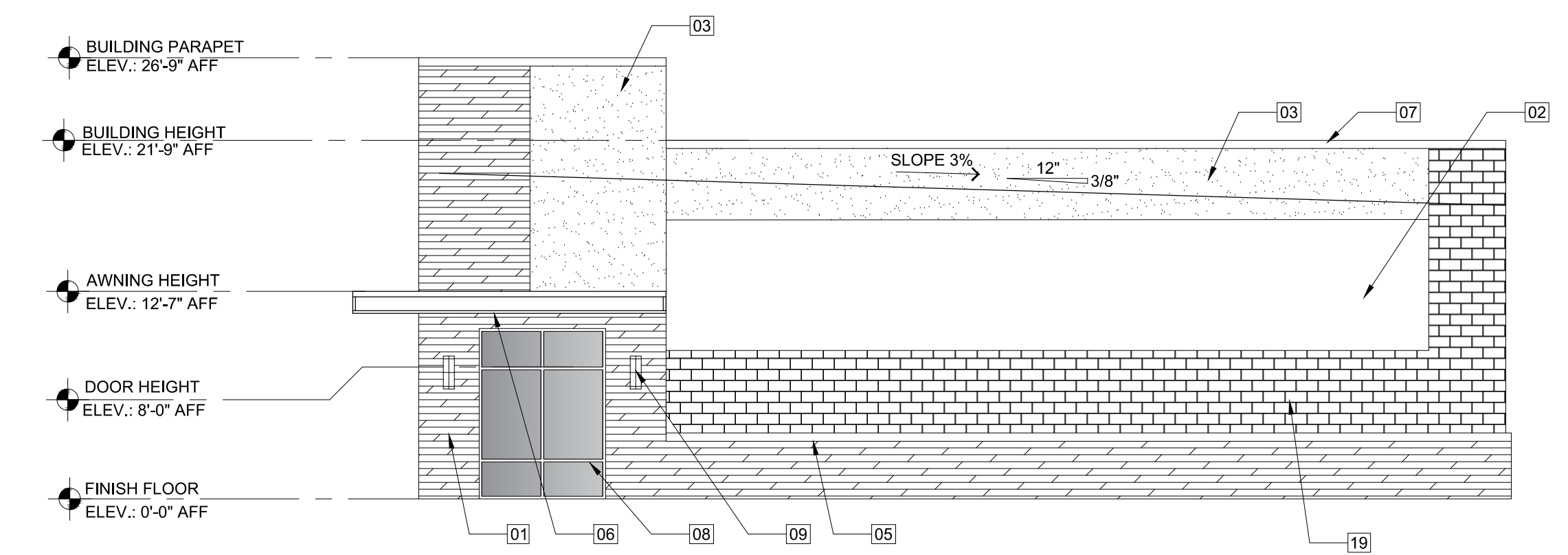
HVAC UNITS TO BE PLACED ON ROOF
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.



WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSNE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)

RSG ENGINEERING

TBPE FIRM #: 15498

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

NO.	REVISIONS

ISSUE DATE: 08/17/23

BUILDING 01



EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO. COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK. COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

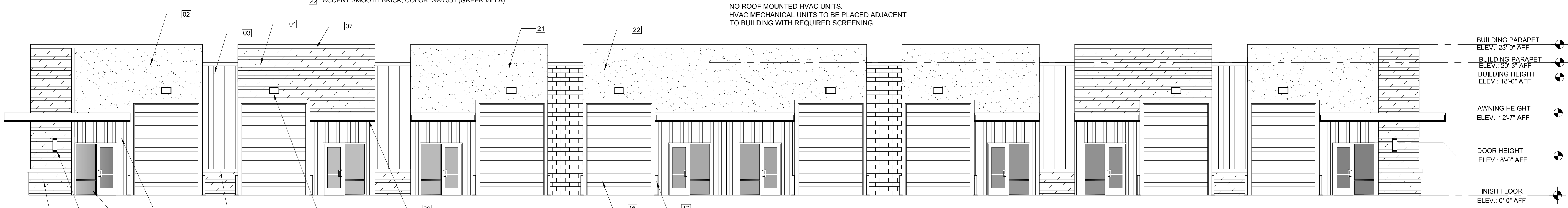
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

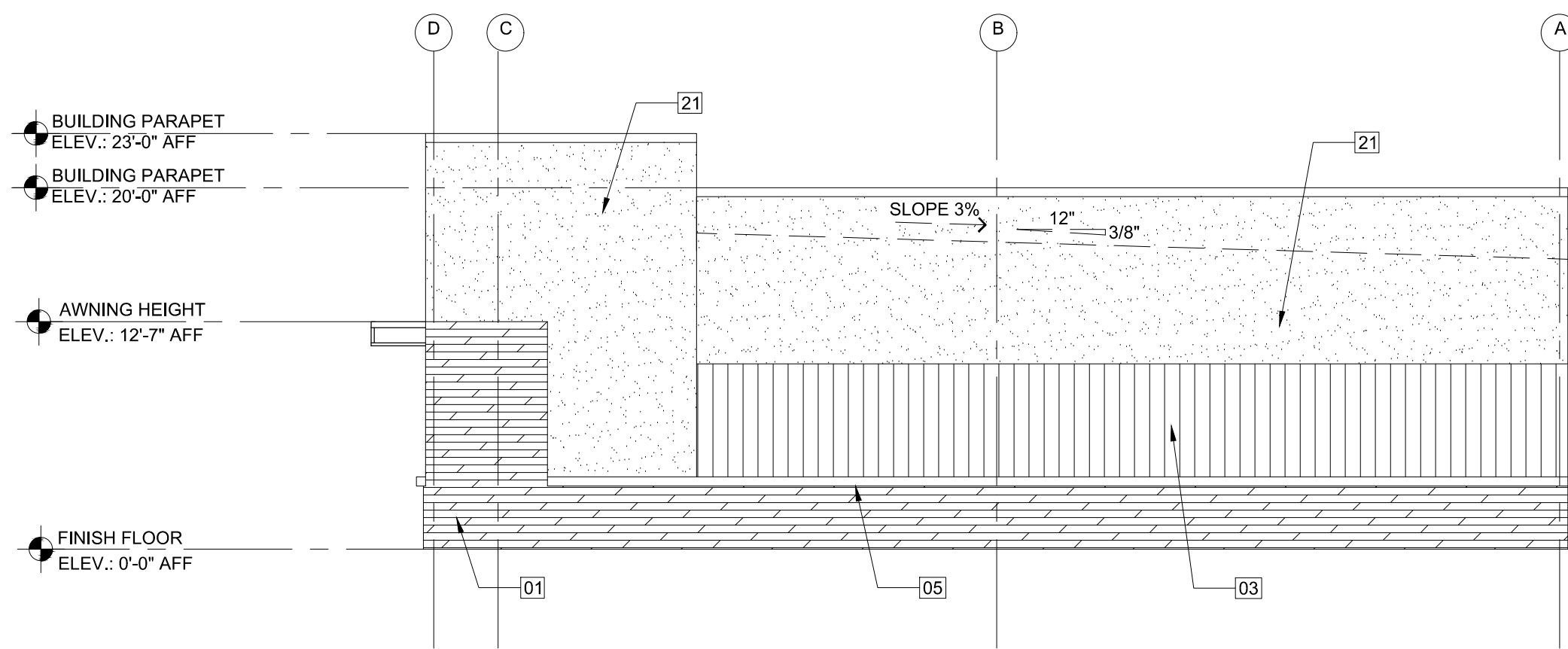


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%

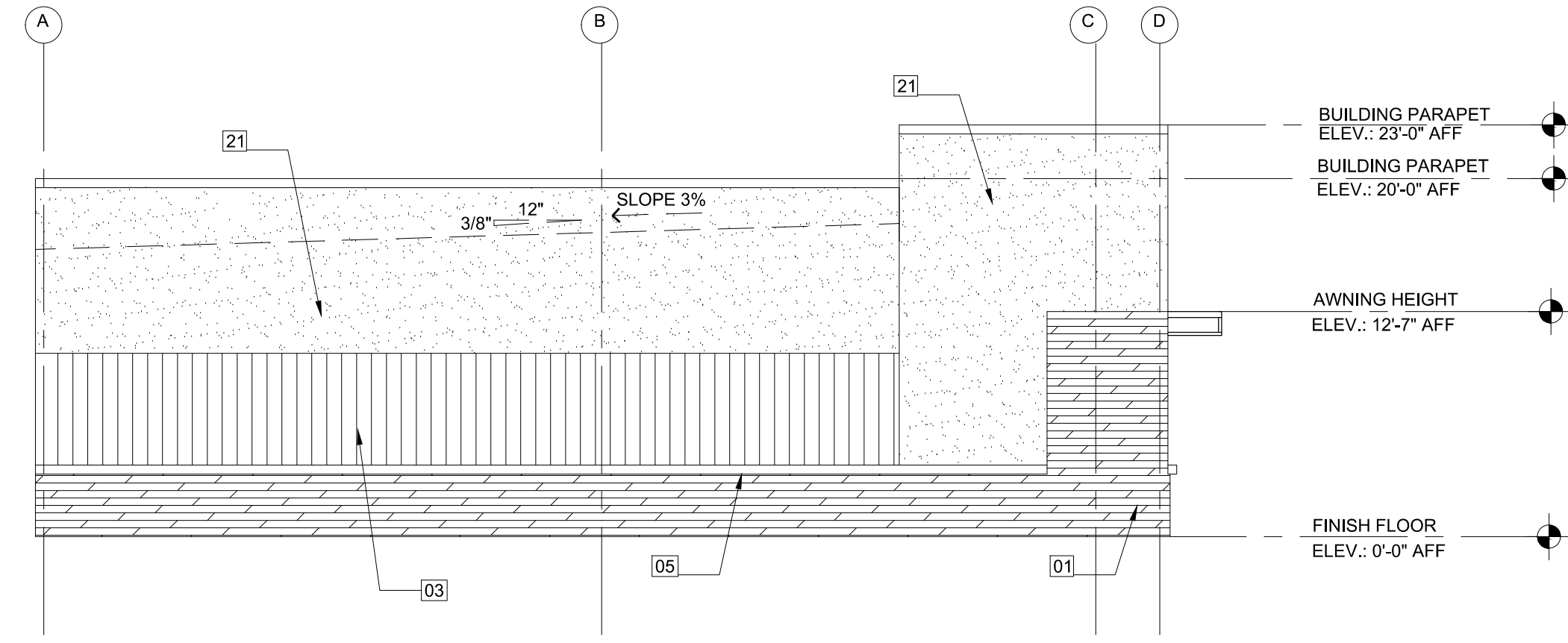
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

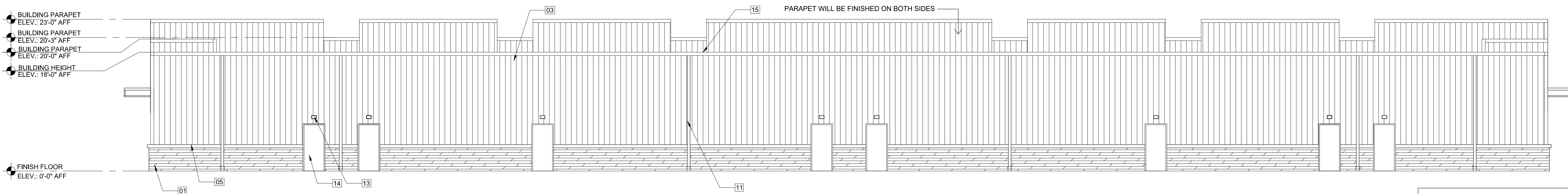
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

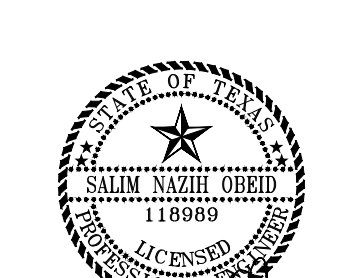
MATERIAL PERCENTAGES

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

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- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
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- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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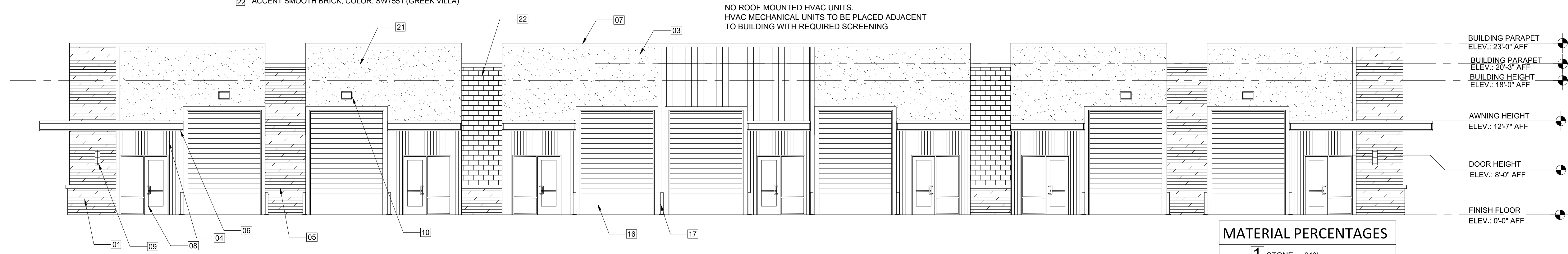
WITNESS OUR HANDS, this ___ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



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- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

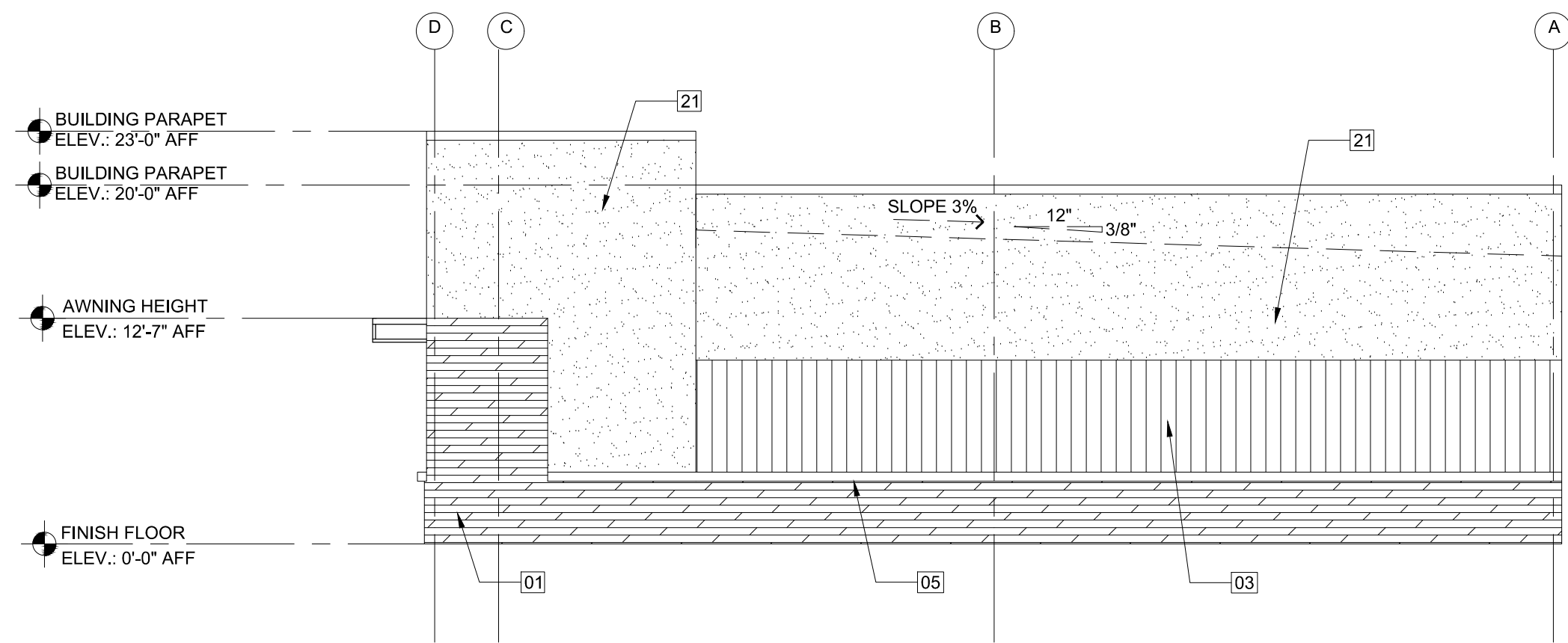
MATERIAL PERCENTAGES

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

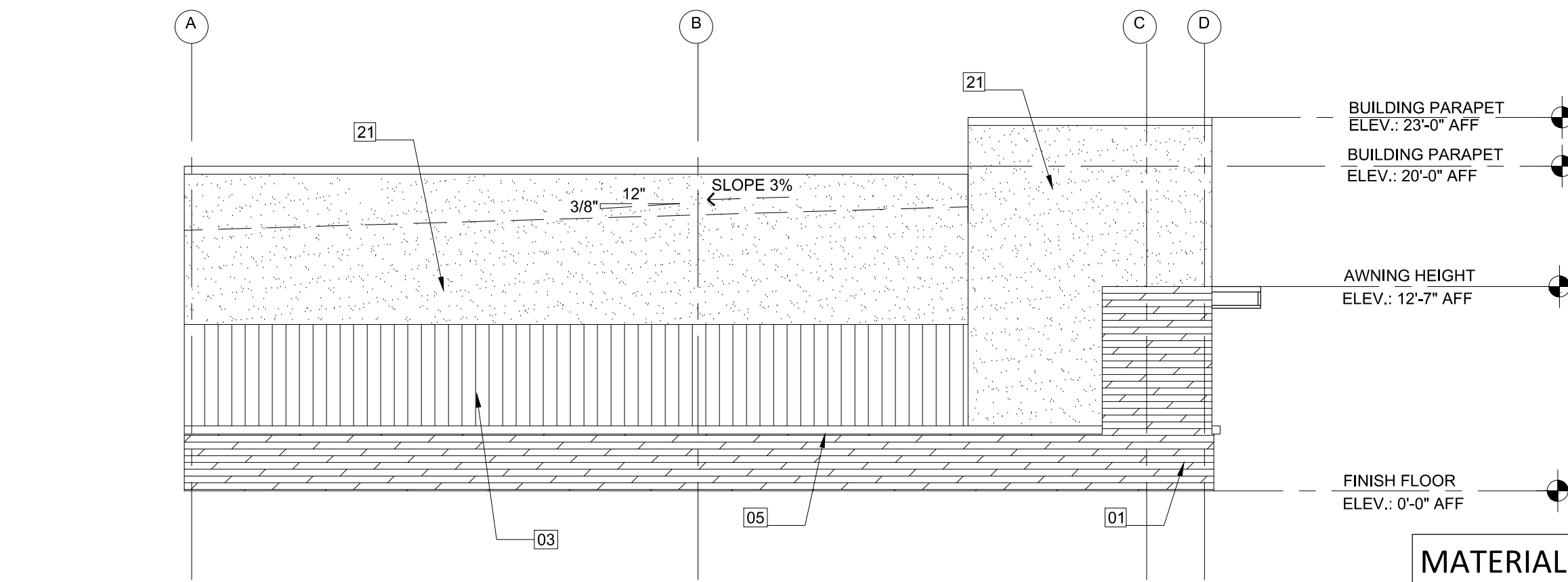
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

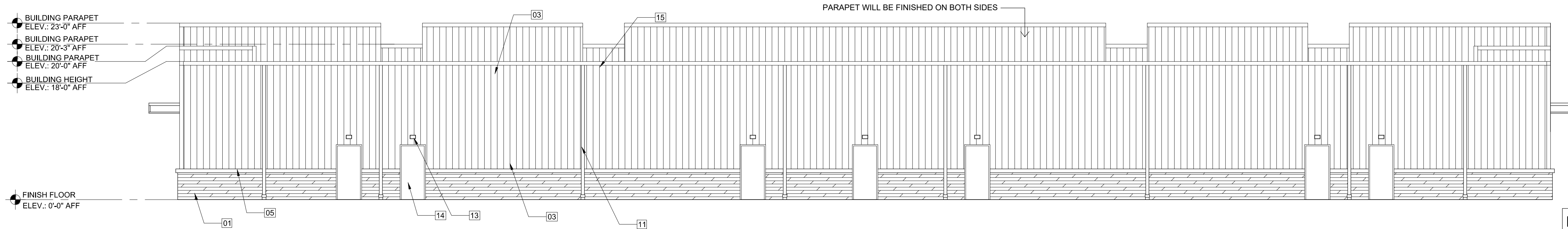
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: = 50%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: = 50%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

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RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

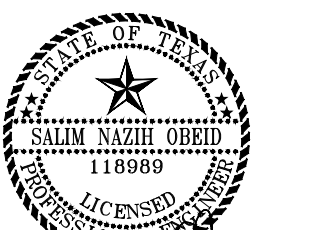
TBP FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS
04, 05, 06 & 07



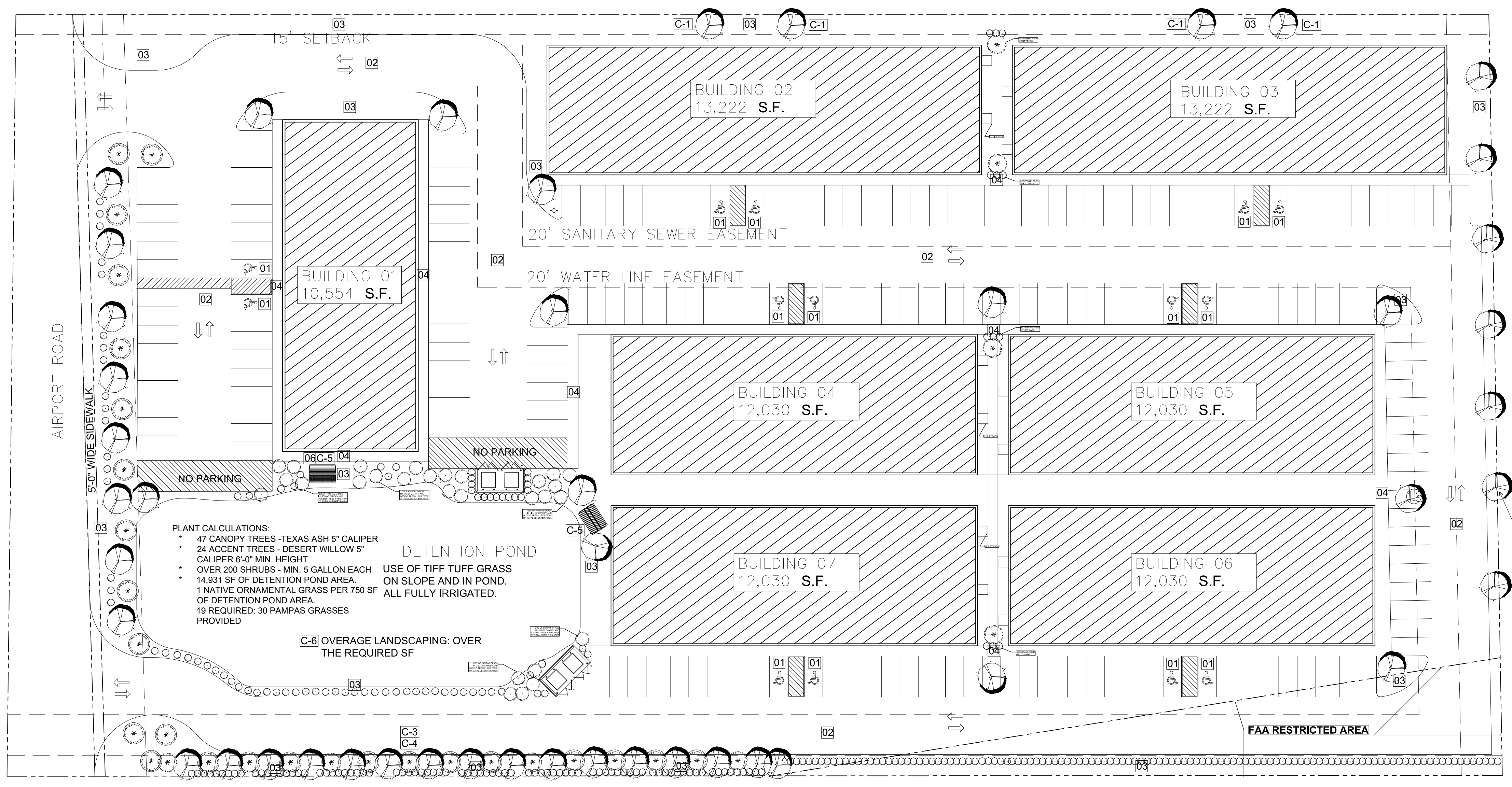
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0



SYMBOL LEGEND

	CANOPY TREE - TEXAS ASH
	ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
	PAMPAS GRASS
	SHRUB
	PUBLIC BENCH

KEYED NOTES

01 -	HANDICAP SYMBOL & SIGN
02 -	PAVING
03 -	LANDSCAPING
04 -	SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
05 -	DUMPSTER
C-1 -	2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
C-2 -	2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
C-3 -	3 TIER SCREENING: COMPENSATORY MEASURE
C-4 -	5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
C-5 -	PUBLIC BENCH: COMPENSATORY MEASURE
C-6 -	OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA:	269,076 SF
TOTAL IMPERVIOUS COVER:	205,736 SF
TOTAL PERVIOUS COVER:	63,340 SF
TOTAL % OF IMPERVIOUS COVER:	76.46%

- ### NOTES
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
 - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
 - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
 - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- ### GENERAL LANDSCAPE NOTES
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

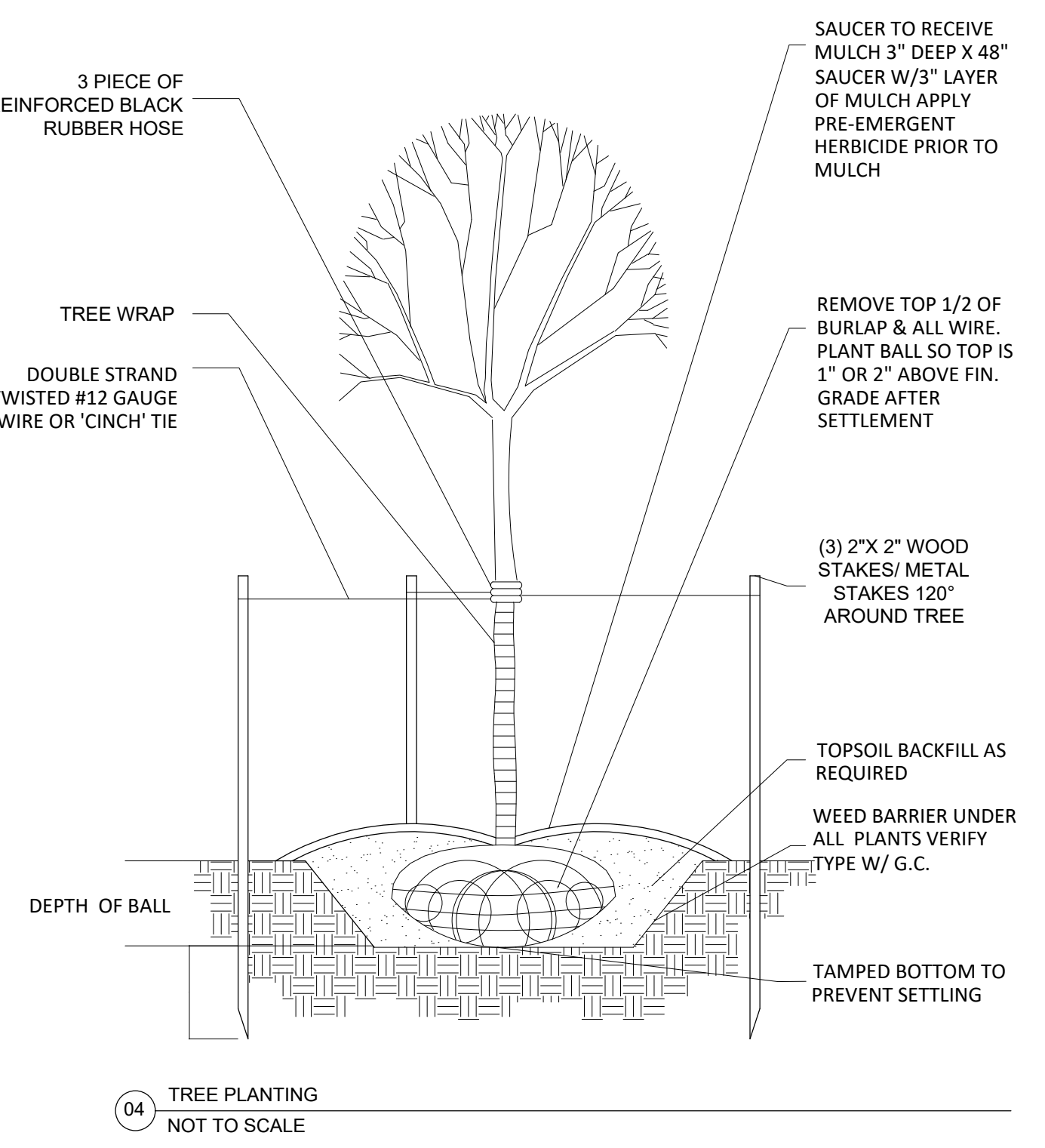
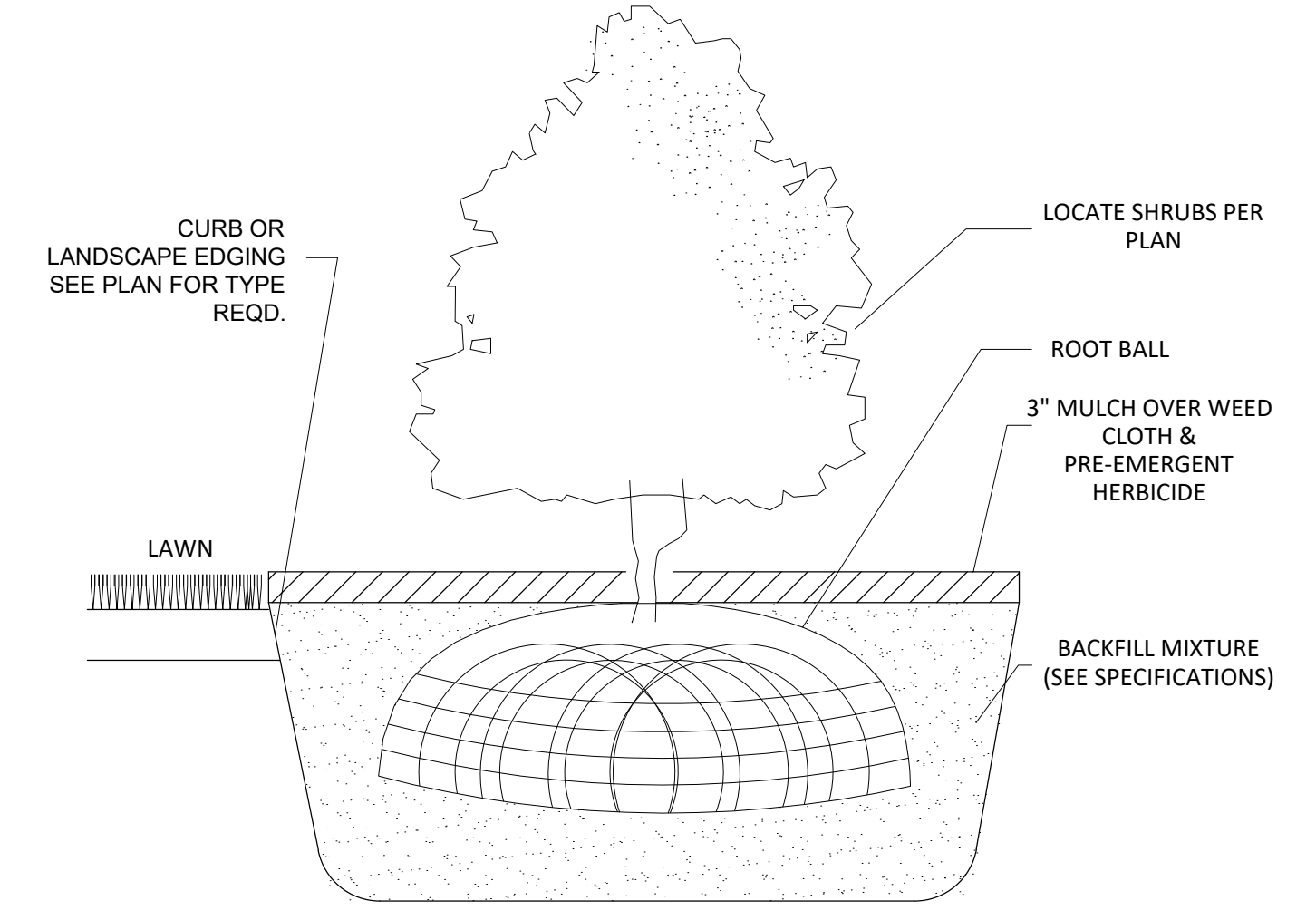
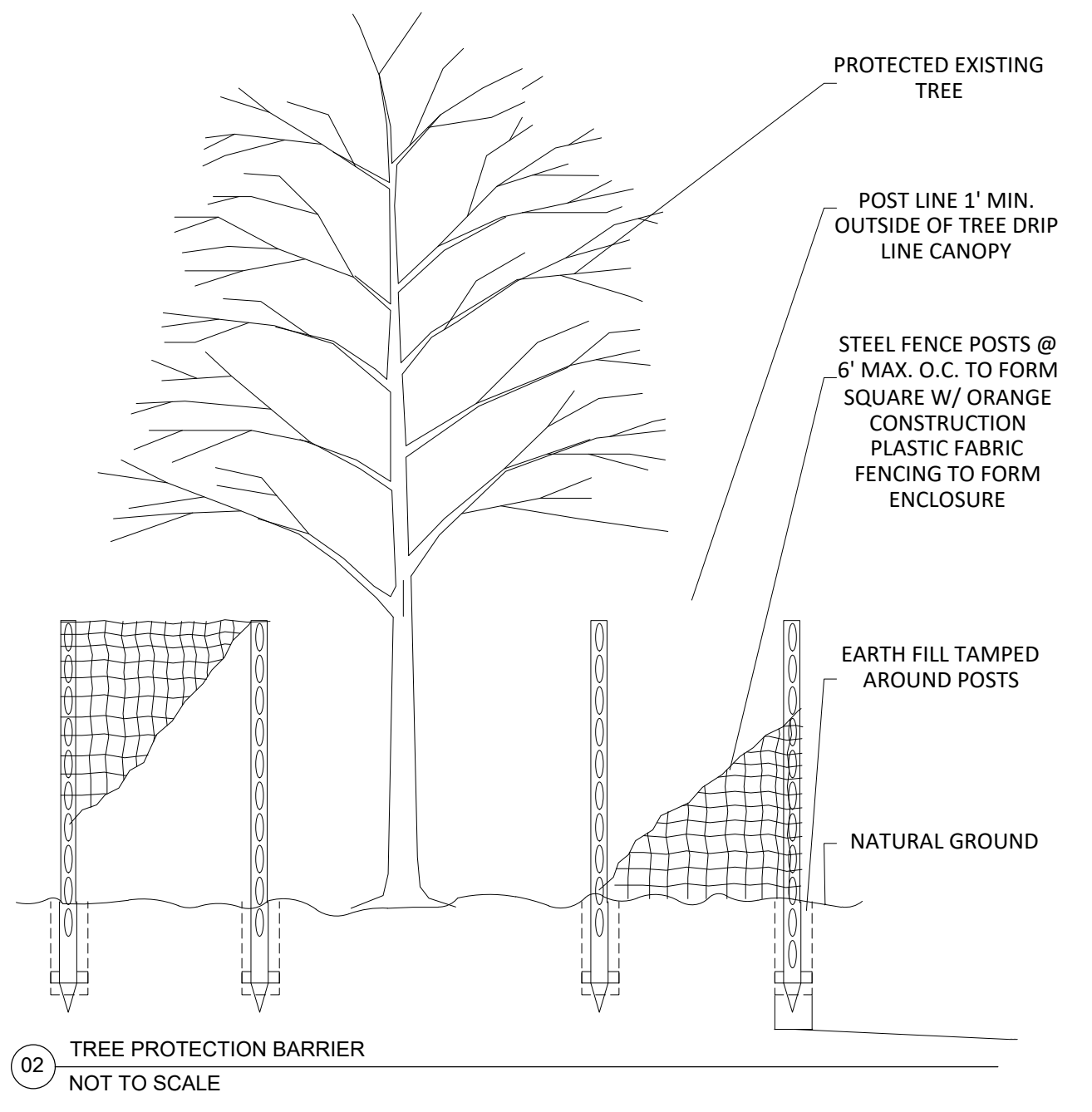
LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

RS&G ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES

at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

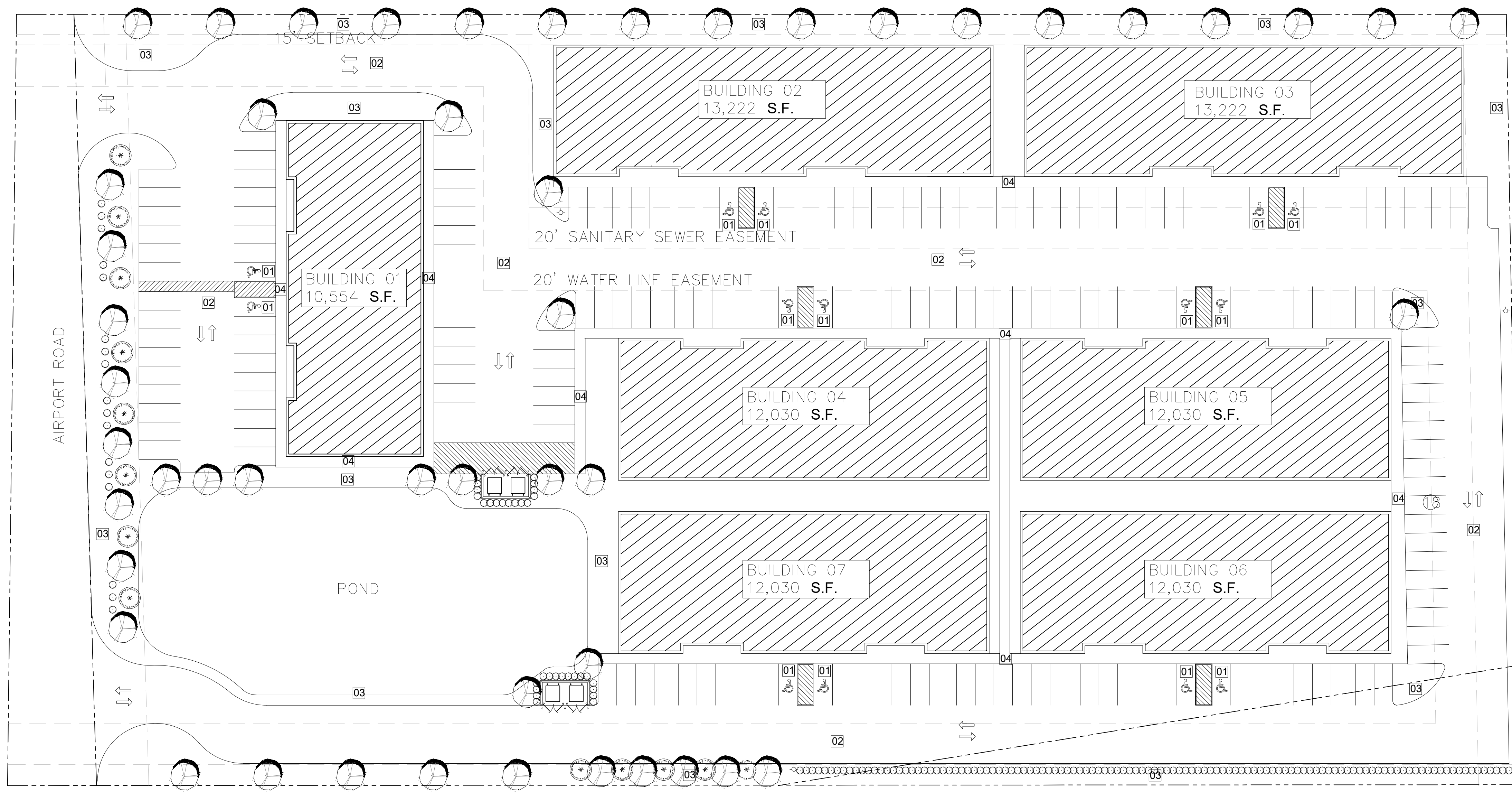
ISSUE DATE: 08/17/23

05/19/2023

LANDSCAPE

DRAWN BY: _____ CHECKED: _____

PROJECT No: 23420.02 SHEET No: A0.3



01 SITE PLAN
Scale 1/32" = 1' - 0"

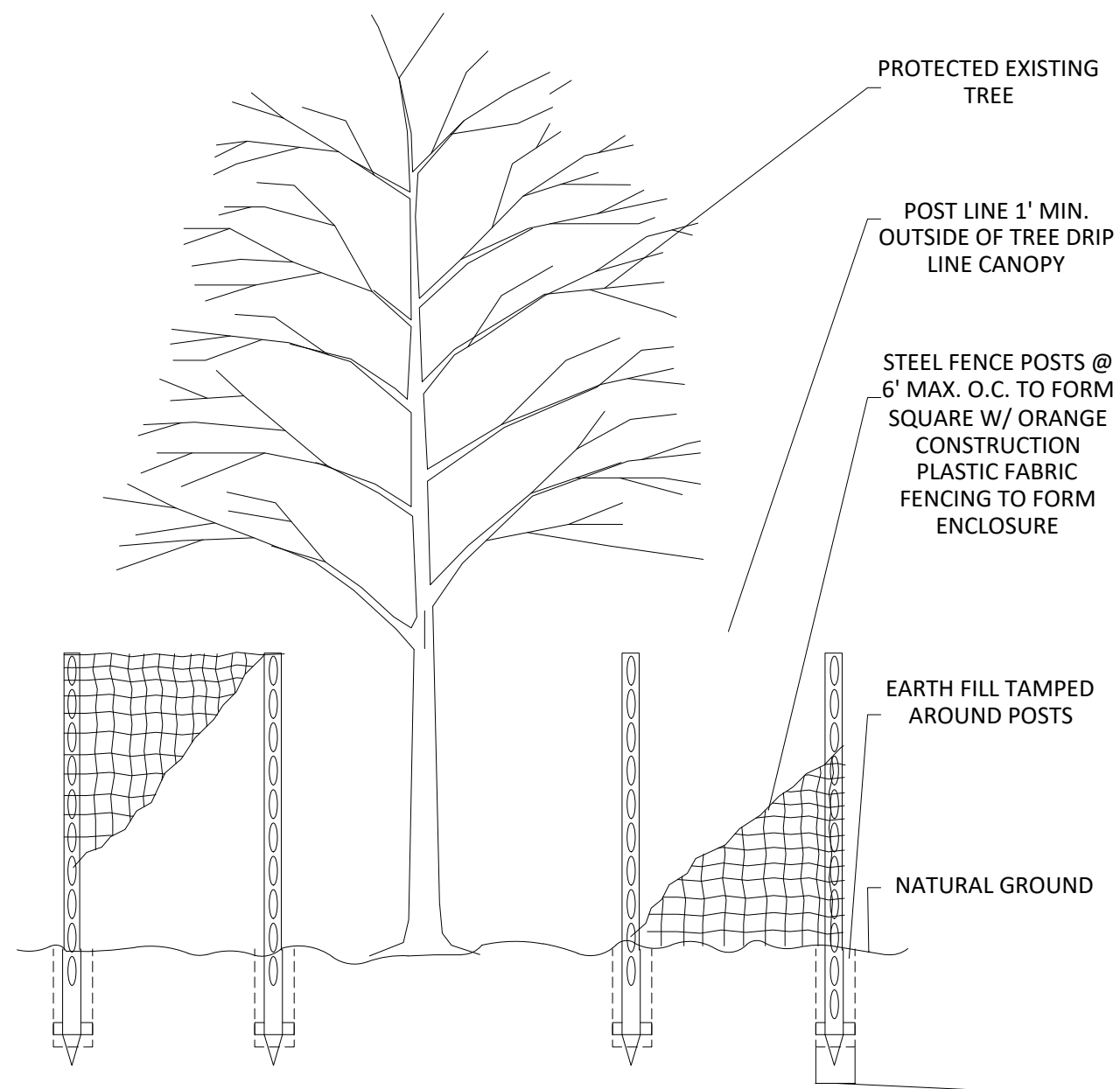
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

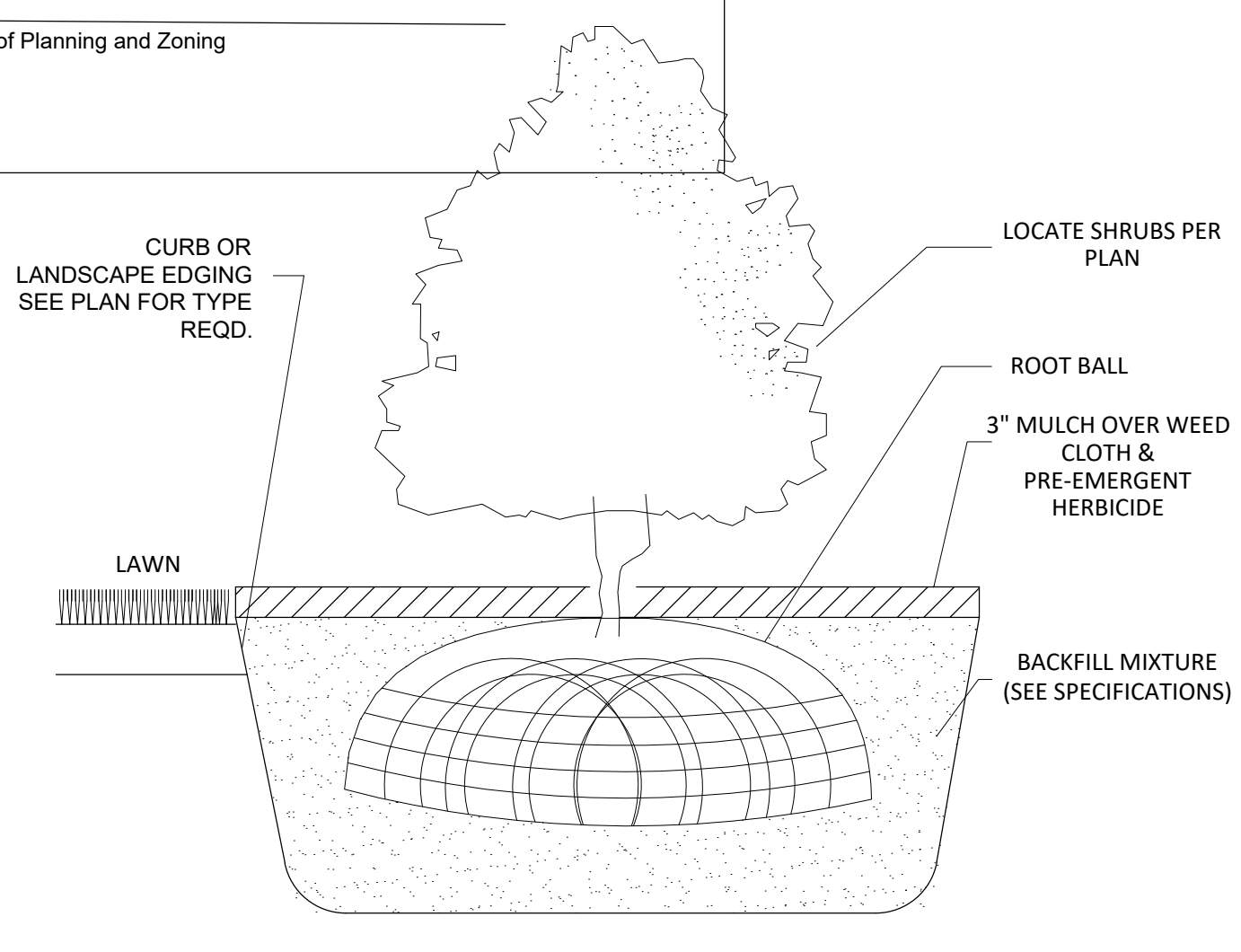
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

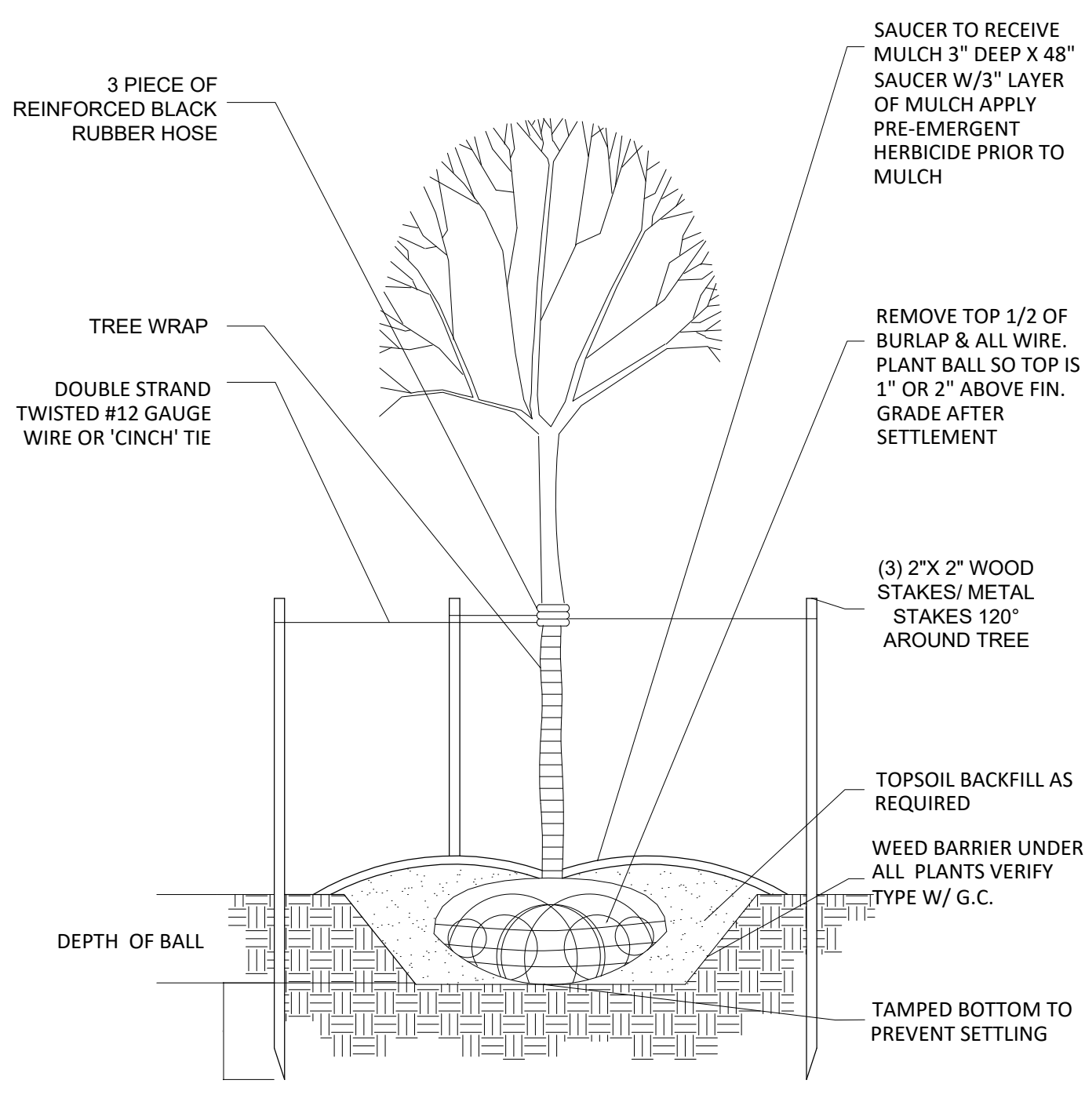
Director of Planning and Zoning



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE



04 TREE PLANTING
NOT TO SCALE

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

KEYED NOTES

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES

- NOTES**
- 1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
 - 2- CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
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 - 6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

- GENERAL LANDSCAPE NOTES**
- 1 - ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - 2 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
 - 3 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - 4 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY REGULATIONS.
 - 5 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
 - 6 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - 7 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - 8 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
 - 9 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
 - 10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

Treescape CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

ISSUE DATE: 05/19/23

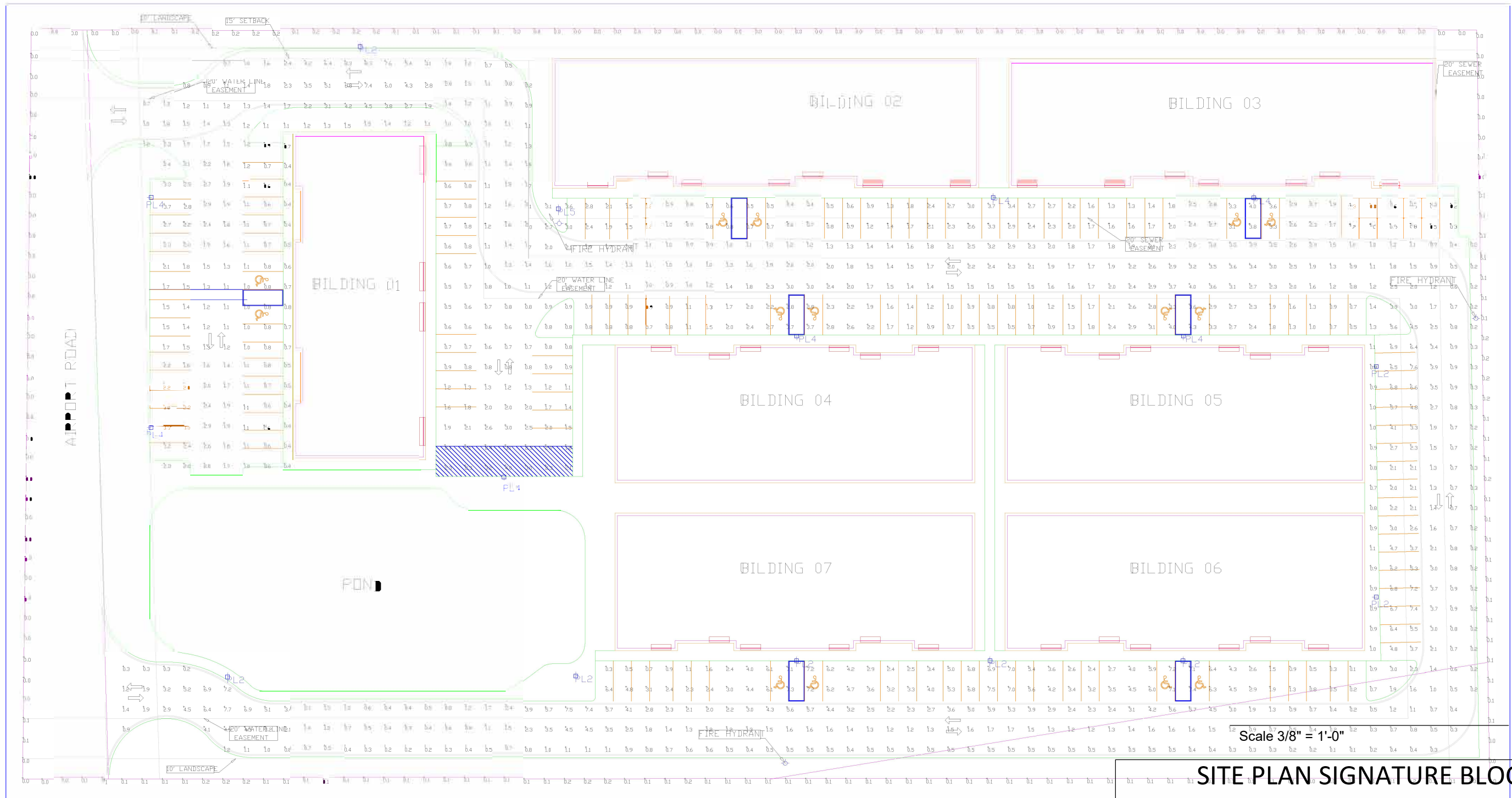
05/19/2023

TREESCAPE

DRAWN BY: _____ CHECKED: _____

PROJECT No: 23420.02 SHEET No: A0.3

TBPE FIRM #: 15498



SITE PLAN SIGNATURE BLOCK

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

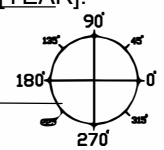
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].
Planning & Zoning Commission, Chairman
Director of Planning and Zoning



Peterson, Scharck & Associates, Inc.
10855 Tanner Rd.
Houston, TX 77041
applications@psa-lighting.com

XXX
XXX

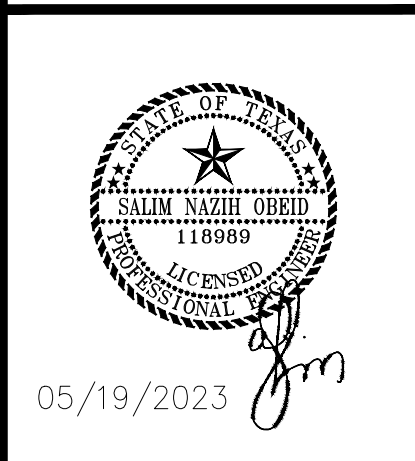
Rockwall
Flexspace Center
- Site Ltg

07-11-23
SR



REVISIONS	

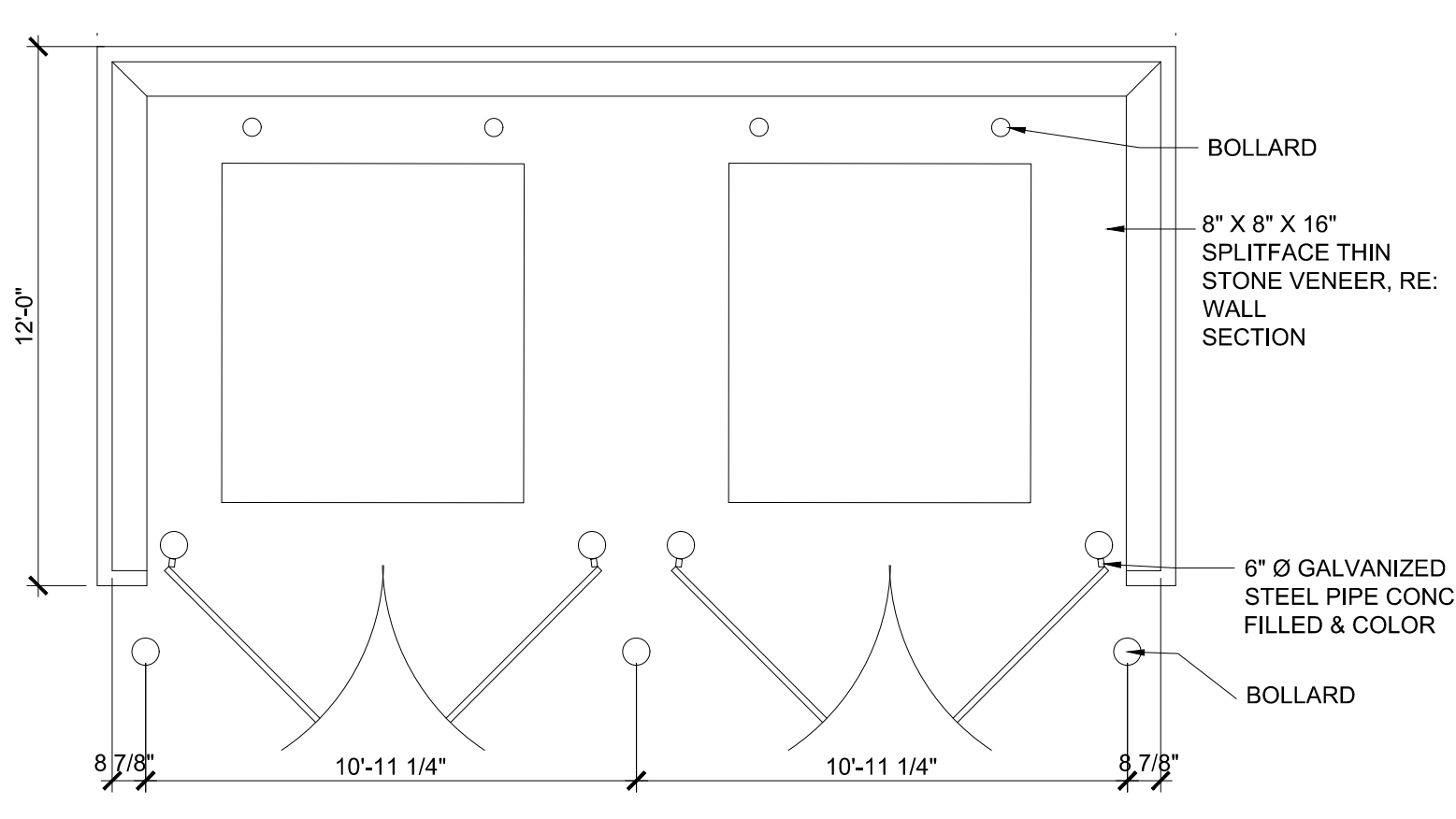
ISSUE DATE: 07/11/23



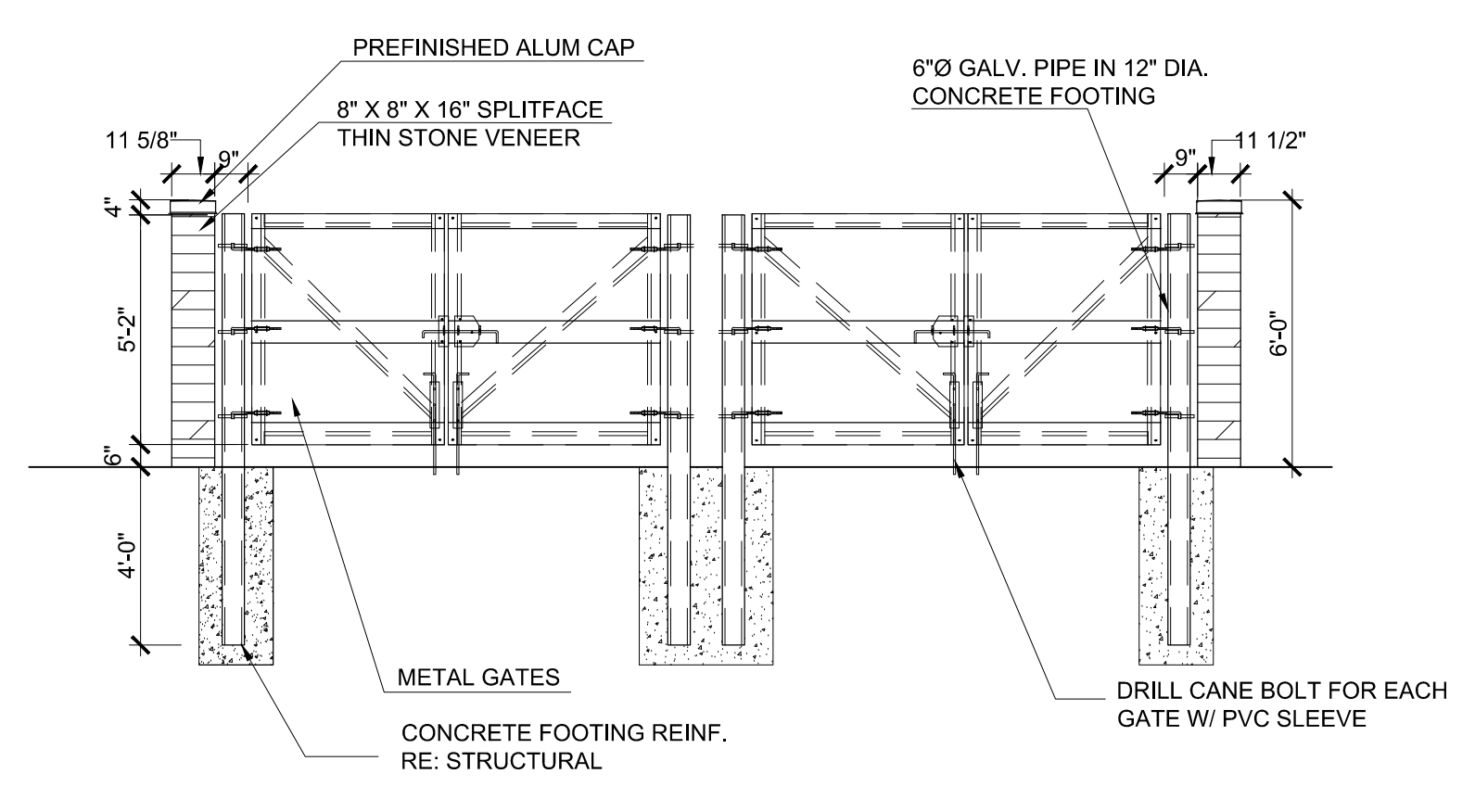
DUMPSTER DETAIL

DRAWN BY: _____ CHECKED: _____

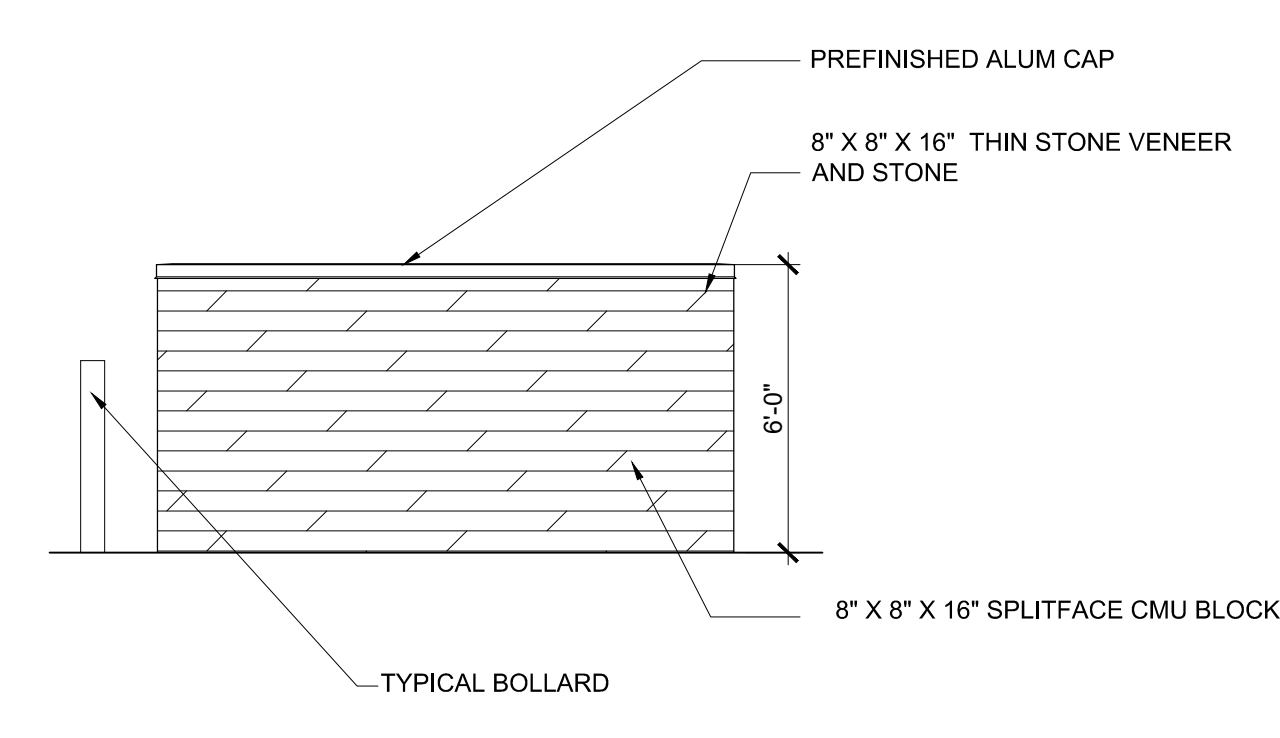
PROJECT No: 23420.02 SHEET No: A0.2



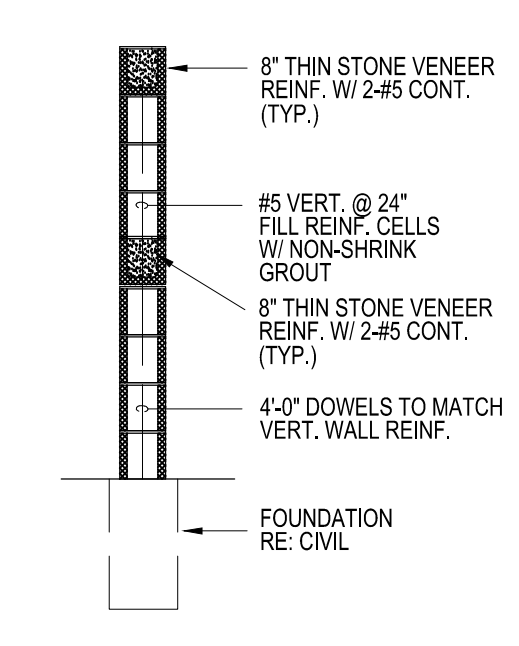
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

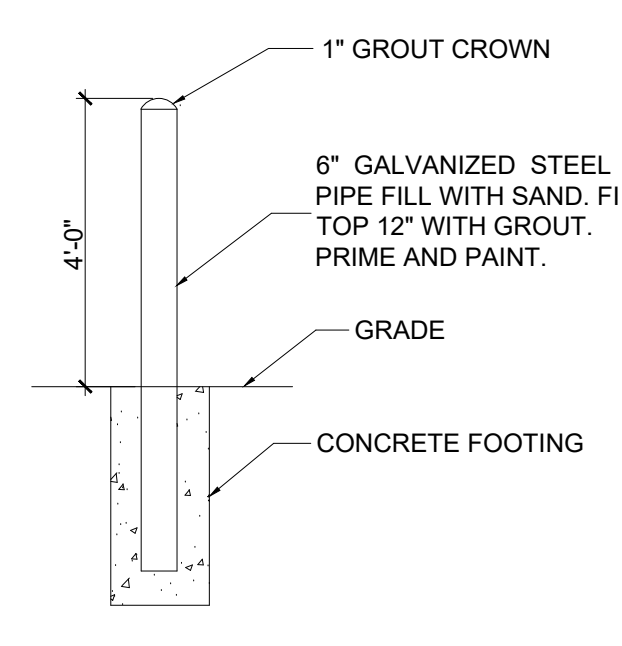
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-029
PROJECT NAME: Site Plan for Duwest Rockwall
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-029) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

I.4 As long as none of the easements change, new ones are added, or lot lines change, then a plat will not need to be complete. That being said, there is still an outstanding Final Plat associated with the subject property that has never been filed.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

- (1) Please indicate the front yard setback, which is 25-feet. It appears that the line is delineated but the label is not there. (Subsection 03.04. B, of Article 11, UDC)
- (2) Based on the parking indicated on the site plan, it appears there are 177 provided parking spaces. Please correct the parking table to reflect this. In addition, please correct the building square footages on the site plan to reflect what is shown in the parking table. (Subsection 05.01, of Article 06, UDC)
- (3) Please provide a full dumpster enclosure detail. In addition, please indicate that the dumpster enclosure gates will be self-latching (i.e. cane bolts do not satisfy this requirement). (Subsection 01.05. B, of Article 05, UDC)

M.7 Landscape Plan:

- (1) All ground mounted utility equipment must be screened with 5-gallon evergreen shrubs; this include transformers. Please correct the landscape plan to reflect this. (Subsection 01.05. C, of Article 05, UDC)
- (2) Based on the number of canopy trees indicated in the plant schedule, there are 452" being planted. Given this please update the mitigation table to reflect this. (Subsection 05.03. B, of Article 08, UDC)
- (3) All shrubs must be 5-gallon. (Subsection 05.03. B, of Article 08, UDC)

M.8 Treescap Plan:

- (1) Based on the treescap table, the follow changes need to be made: [1] there is a total of 1,659 inches being removed that must be mitigated, [2] a mitigation balance of 1,207 is remaining after subtracting the 452 caliper inches being removed, and [3] an alternative tree mitigation settlement agreement must be requested for a total of 1,207 caliper inches, for a fee of \$120,700. All that being said, the proposed Treescap Plan is double counting trees that the Chipotle site mitigated for, please correct the treescap table to remove trees that were already mitigated by Chipotle. In addition, there are trees that were to be saved on Chipotle's treescap table, but marked to be removed on this one and vice versa. Please correct the Treescap Plan to be consistent. This should provide substantial change to the mitigation balance, which may make the fee much less. (Subsection 01.05. C, of Article 05, UDC)

M.9 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
- (2) Please correct the light levels along the southeast portion of the subject property as they exceed the 0.2 FC at the property line. (Subsection 03.03. G. 2, of Article 07)
- (3) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations:

- (1) Please provide the material percentages for Building A; both tables are for Building B. (Subsection 06.02, Article 05, UDC)
- (2) Please provide a note that back side of the parapet will be finished in the same material as the outward facing façade. (Subsection 06.02, of Article 05, UDC)
- (3) Please ghost in the opposite side of the buildings in the elevations. (Subsection 04.01, of Article 05, UDC)
- (4) Please cross-hatch any proposed roof top units. (Subsection 04.01. C, of Article 05, UDC)
- (5) Based on the articulation requirements for a commercial building located within an overlay district, the following articulation standards are not met: [1] wall length exceeds on north sides (length = 3 x height), [2] wall projection under on south sides (projection = 25% x wall height), and [3] projection height under on north sides (projection height = 25% x wall height). These will be a variance to the articulation requirements. (Subsection 04.01. C. 1, of Article 05, UDC)

I.11 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] articulation. That being said, very similar buildings were approved previously. Please provide a variance letter that requests this variance; it would be important to note that very similar buildings were approved previously, and that the buildings are 100% masonry, with stone greater than the 20% requirement.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

- 08/25/2023:
1. Show both landscape buffer and building setbacks.
 2. Call out floodplain and elevations and easement.
 3. Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.
 4. Dumpsters will need oil/water separators that outfall to the storm sewer system.
 5. Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate? Confirm there is no required landscape buffer for this side lot line.
 6. Monument sign will need proper setback and will need to be properly screened.
 7. What is this line? Is this a utility easement? Please label.
 8. Fix cut off.
 9. Call out drainage easements, floodplain and elevations minimum of every 300' with source information.
 10. Page 1, not next.
 11. Same as other page.
 12. Remove trees from erosion hazard setback area.
 13. This proposed tree appears to be in the way of the fire hydrant. Please coordinate the plans and confirm.
 14. Site Plan shows this as UGE - please clarify. Confirm trees are planted a minimum of 5' away from utilities.
 15. Why are all of these trees being removed if this is outside of the limit of work? Please clarify the true limit of work.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved w/ Comments
08/21/2023: Building B will be: 159 E QUAIL RUN RD, ROCKWALL, TX 75087 Building C will be: 165 E QUAIL RUN RD, ROCKWALL, TX 75087			

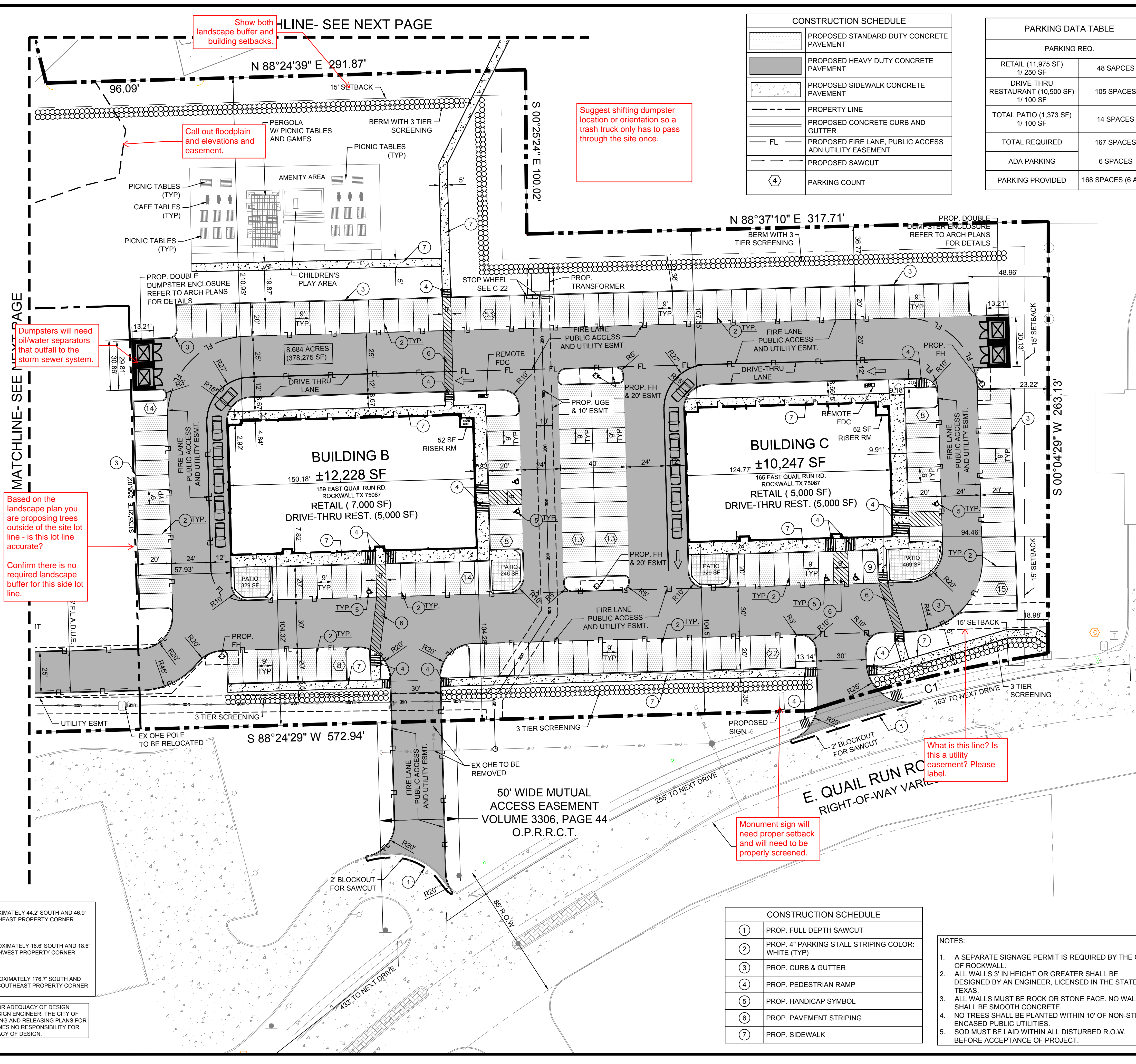
*Suite numbers can be looked at during permitting, otherwise they need to be in the 1XX range (i.e. 110,120,130 etc.) per our standards
<http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments
08/21/2023: 1. Tifway 419 is a great turf there are (2) newer varieties that are more shade, wear, cold and drought tolerant. Tif Tuf and Tahoma 31 that you might look into			

2. You will probably find that Caddo Maples are no longer available. Autumn Blaze and October Glory are two additional varieties that do well in DFW. Make sure you wrap the trunk for first 12 to 18 months to prevent sun scald.

3. Please review our new tree mitigation ordinance.



Show both landscape buffer and building setbacks.

Call out floodplain and elevations and easement.

Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.

Dumpsters will need oil/water separators that outfall to the storm sewer system.

Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate?

Confirm there is no required landscape buffer for this side lot line.

What is this line? Is this a utility easement? Please label.

Monument sign will need proper setback and will need to be properly screened.

CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
- ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
- ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
- NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
- SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

General Items:

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- 4% Engineering Inspection Fees
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TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PLOTTED BY: JAT/KRUIARUDDA
PLOT DATE: 8/17/2023 10:16 AM
LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM

OWNER:
DuWEST REALTY, LLC
4403 N. CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER:
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN (1 OF 2)

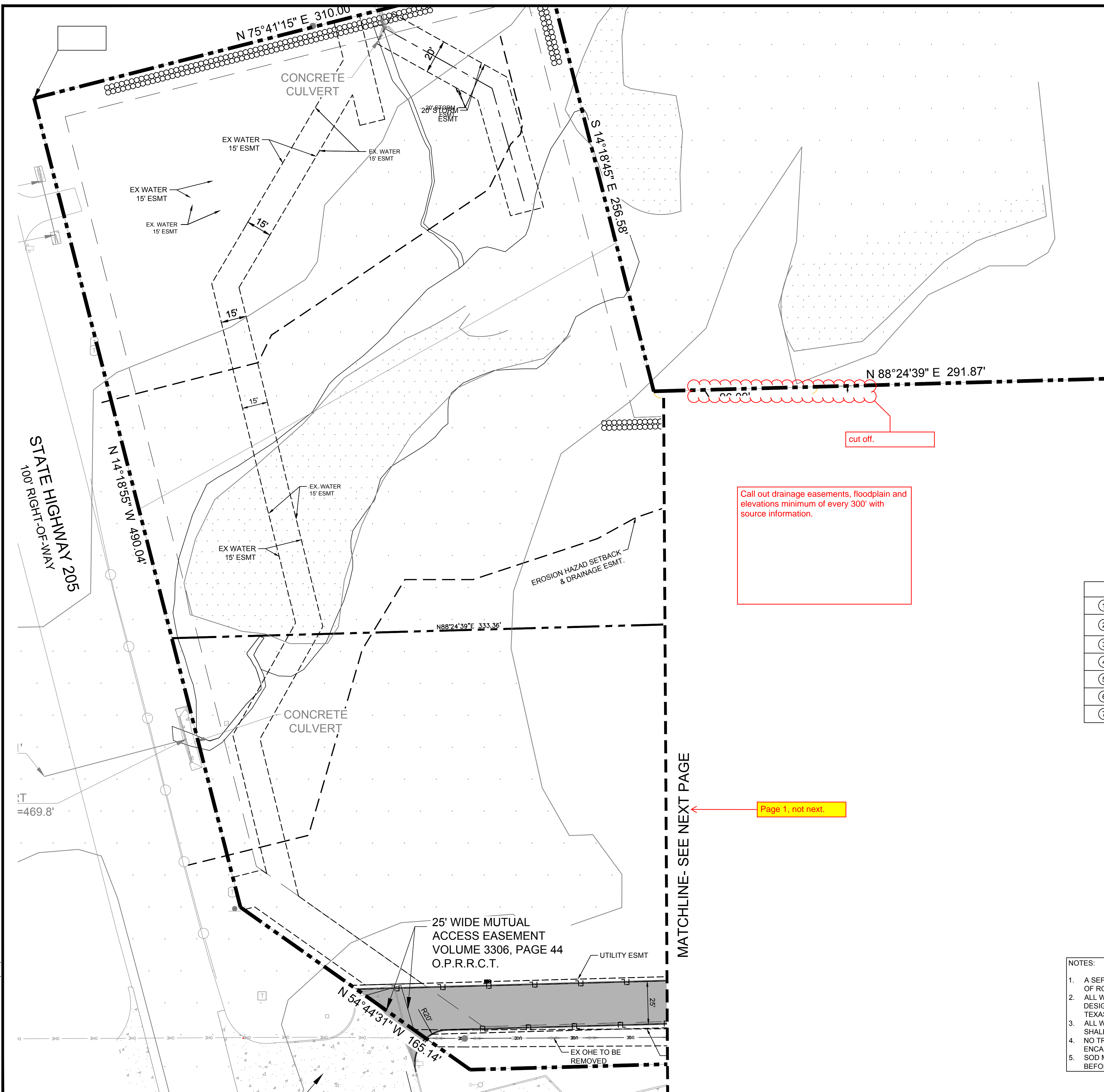
DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 8/17/2023

SHEET

SP-1

File No: 2022-002
CASE # SP2022-012

PLOTTED BY: JAT/KRUBARUBDA
 PLOT DATE: 8/17/2023 10:16 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
 LAST SAVED: 8/17/2023 11:07 AM



Call out drainage easements, floodplain and elevations minimum of every 300' with source information.

Page 1, not next.

MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
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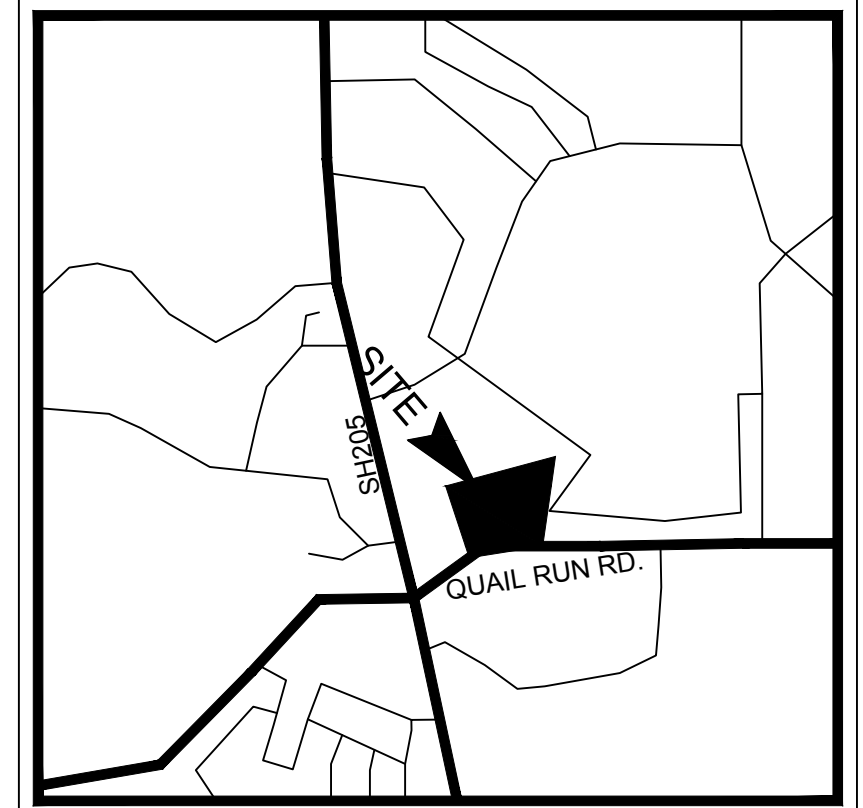
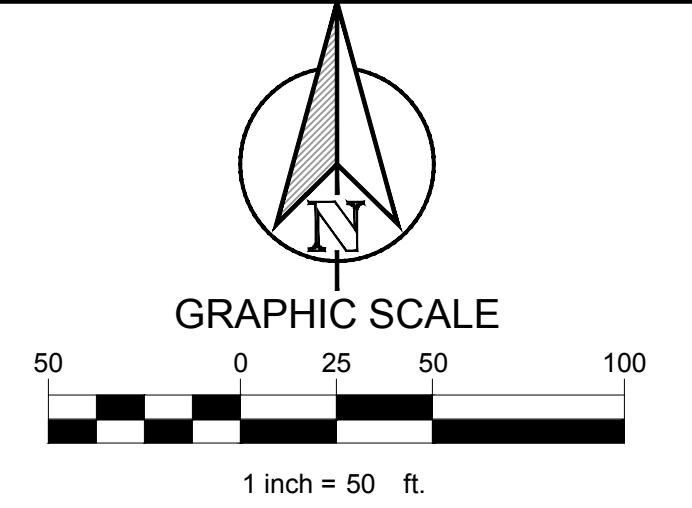
SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

TBM #1 - ELEV. 507.40
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 TBM #3 - ELEV. 486.4
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

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- NOTES:
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 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
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CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
 ABSTRACT, NO 131
 8.684 AC (378,275 SF)

OWNER:
 DuWEST REALTY, LLC
 4403 N. CENTRAL EXHWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENGINEERING.COM
 PHONE: 817.281.0572

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: DREW DONOSKY
 P.E. No. 12565, Date: 8/17/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

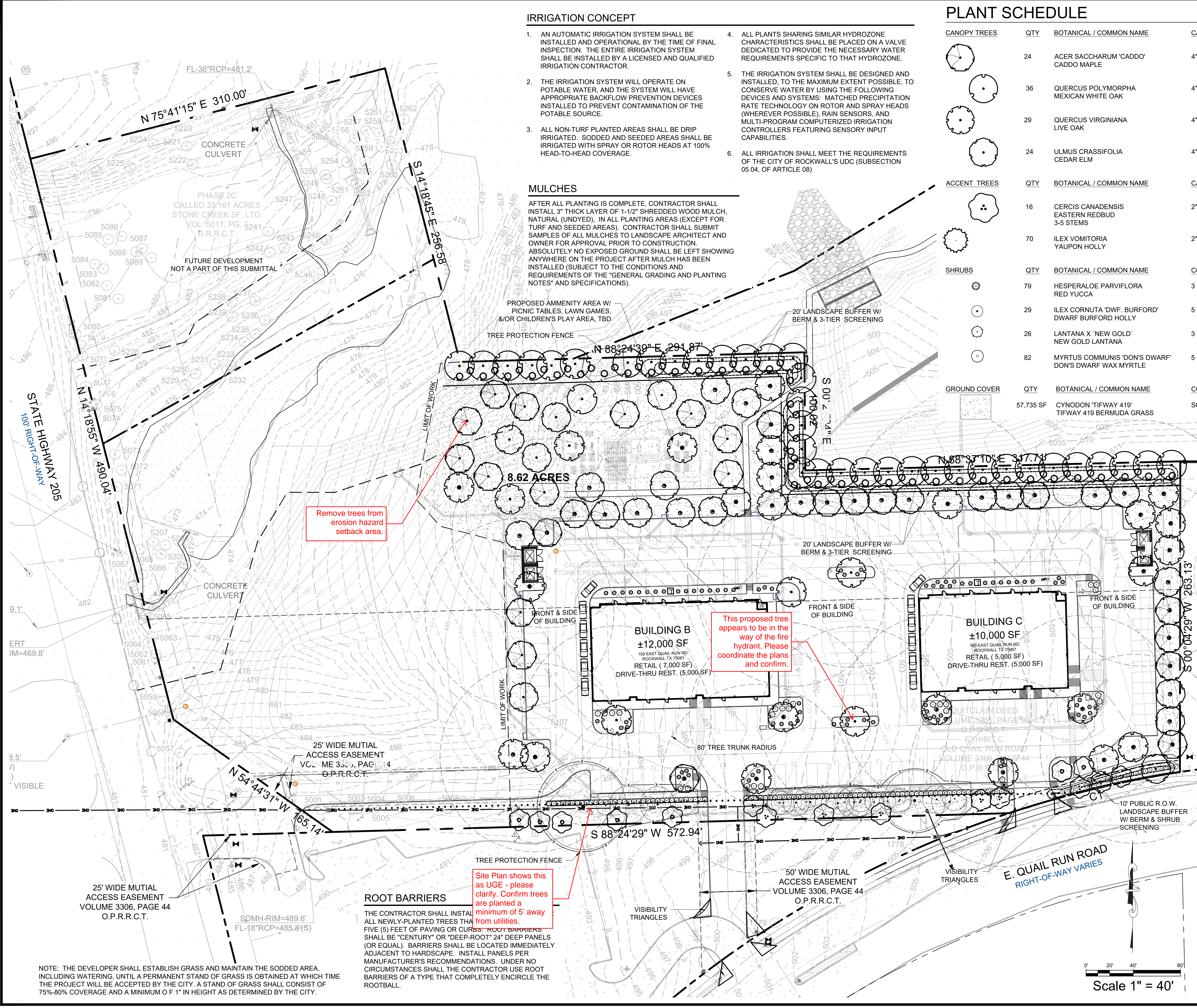
SITE PLAN (2 OF 2)

Same as other page.

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 8/17/2023
 SHEET

 File No. 2022-002
 CASE # SP2022-012

PLOTTED BY: DARCY BRANDON 8/11/2023 4:20 PM
 PLOT DATE: 8/11/2023 4:20 PM
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 LOCATION: 8/11/2023 4:20 PM
 LAST SAVED: 8/11/2023 4:20 PM



IRRIGATION CONCEPT

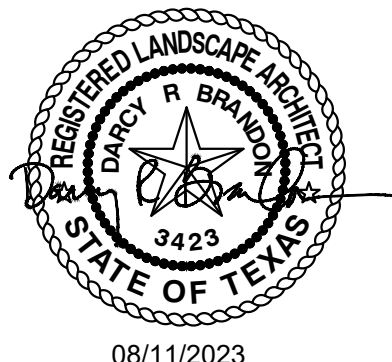
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADD0' CADD0 MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



PRELIMINARY
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 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
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TOTAL PARKING	168 SPACES
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 PH: 817.281.0572

CASE NUMBER

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WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

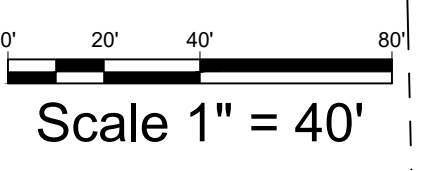
**LANDSCAPE PLANTING
 PLAN**

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022

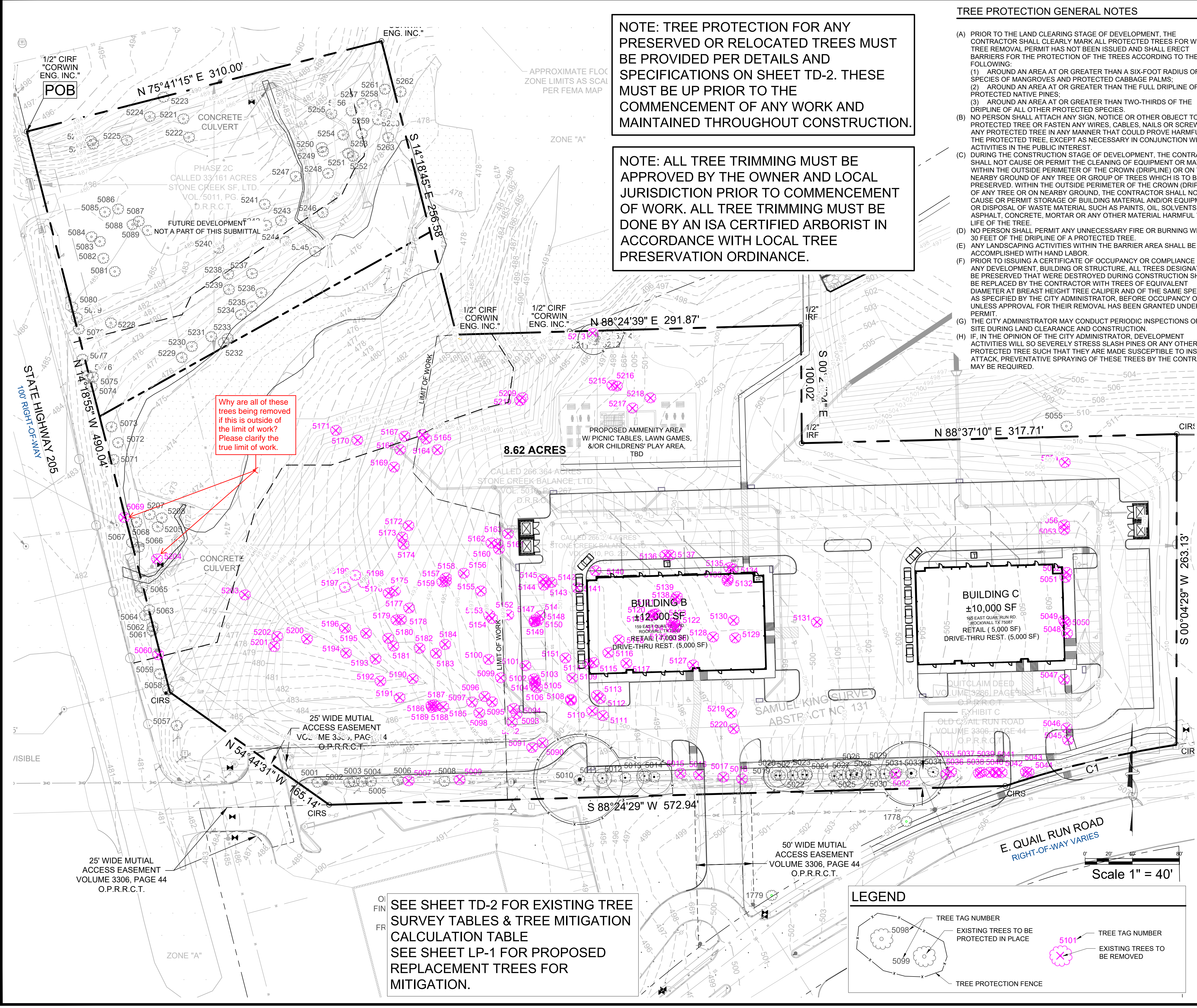
SHEET
LP-1

File No. 2022-002
CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:53 PM
 C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_Td-2022-08-10.DWG
 LOCATION: 8/11/2023 2:51 PM
 LAST SAVED:



NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

Why are all of these trees being removed if this is outside of the limit of work? Please clarify the true limit of work.

- TREE PROTECTION GENERAL NOTES**
- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
 - (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
 - (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
 - (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
 - (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
 - (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
 - (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
 - (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
TOTAL MITIGATION PROVIDED:	1044.5"

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
**STONE CREEK BALANCE LTD
 ABSTRACT NO 131
 8.684 AC (378,275 SF)**

OWNER:
 DuWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

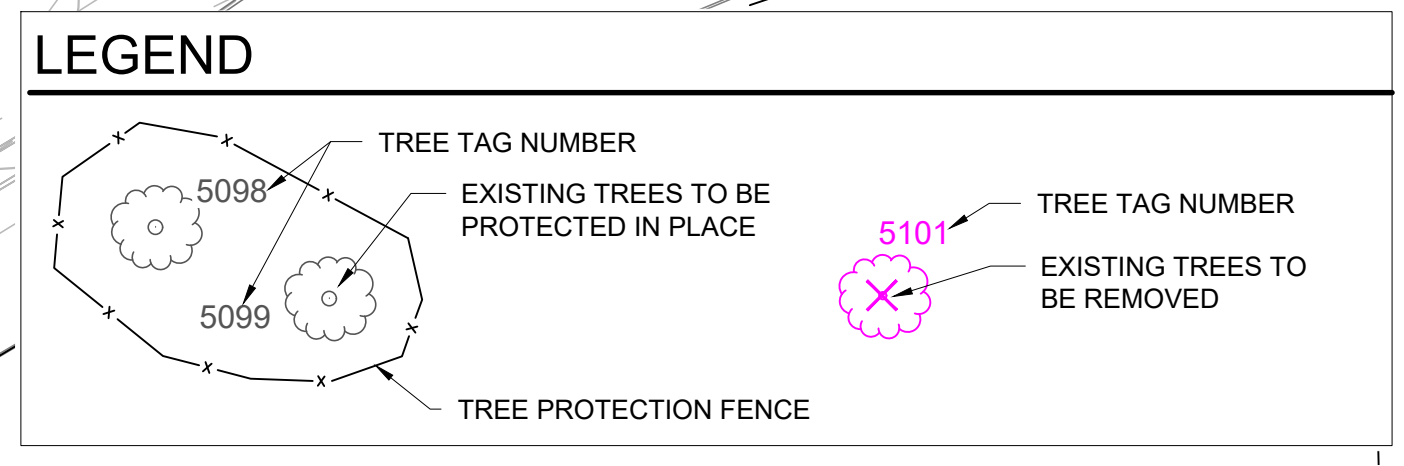
CASE NUMBER:
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

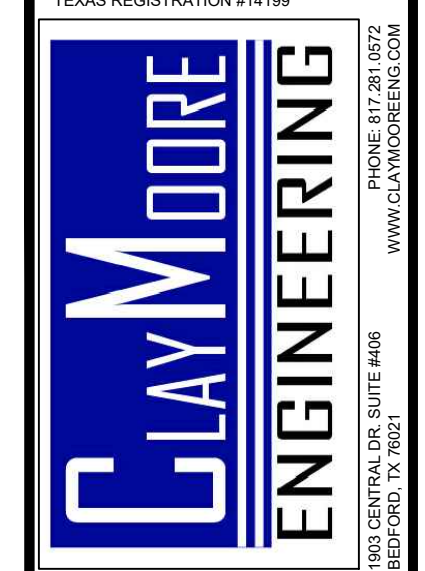
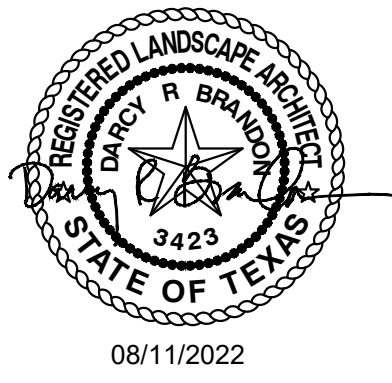
WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 Engineer, No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

TREESCAPE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022
 SHEET
TD-1
 File No. 2022-002
 CASE # SP2022-012



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Not Assigned Yet**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **NEC C Quail Run Road and 205**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-70**

CURRENT USE **Vacant**

PROPOSED ZONING **PD-70**

PROPOSED USE **Commercial retail**

ACREAGE **8.684**

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **DuWest Realty, LLC**

APPLICANT **ClayMoore Engineering**

CONTACT PERSON **Bowen Hendrix**

CONTACT PERSON **Lynn Rowland**

ADDRESS **4403 North Central Expressway
Suite 200**

ADDRESS **1903 Central Drive
Suite 406**

CITY, STATE & ZIP **Dallas, Tx 75025**

CITY, STATE & ZIP **Bedford, Tx**

PHONE **214-918-1804**

PHONE **817.281.0572**

E-MAIL **bowen@duwestrealty.com**

E-MAIL **Lynn@claymooreeng.com**

NOTARY VERIFICATION [REQUIRED]

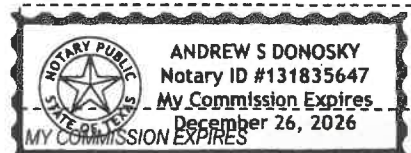
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

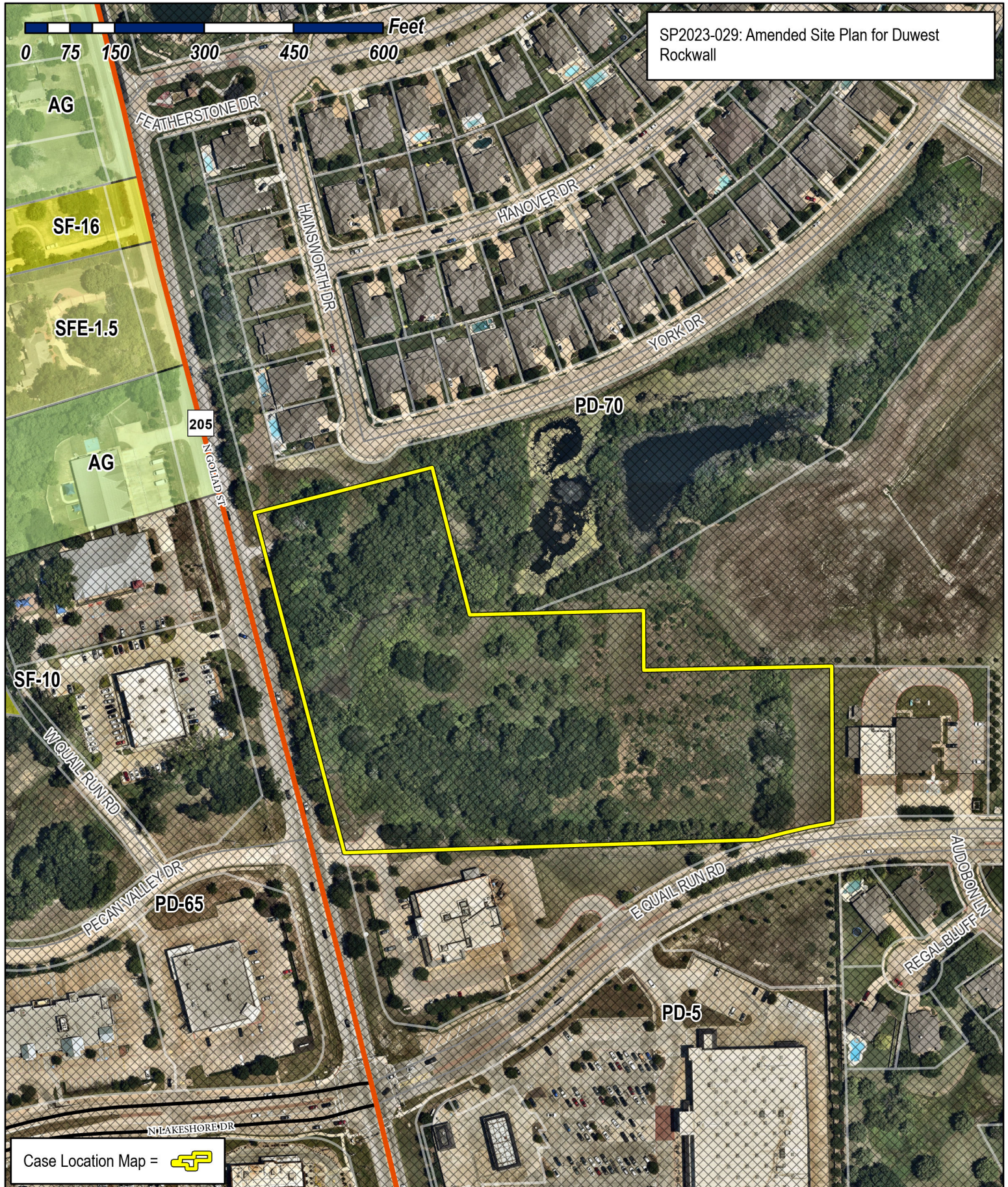
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2023-029: Amended Site Plan for Duwest Rockwall



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

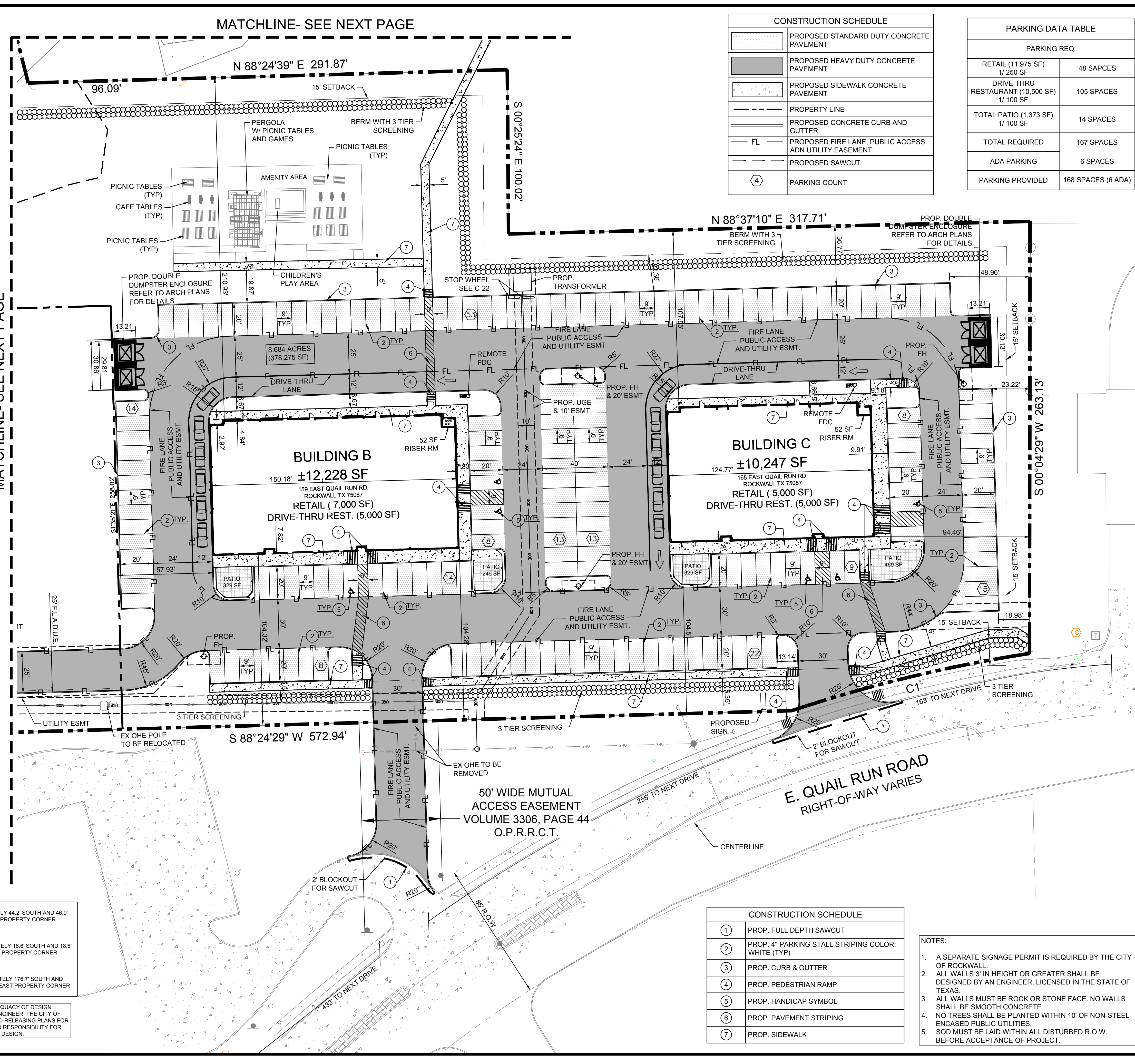


PLOTTED BY: JAT, KRUIARUDDA
 PLOT DATE: 8/17/2023 10:16 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
 LAST SAVED: 8/17/2023 11:07 AM

TBM #1 - ELEV: 507.40
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.
TBM #2 - ELEV: 489.60
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.
TBM #3 - ELEV: 486.4
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

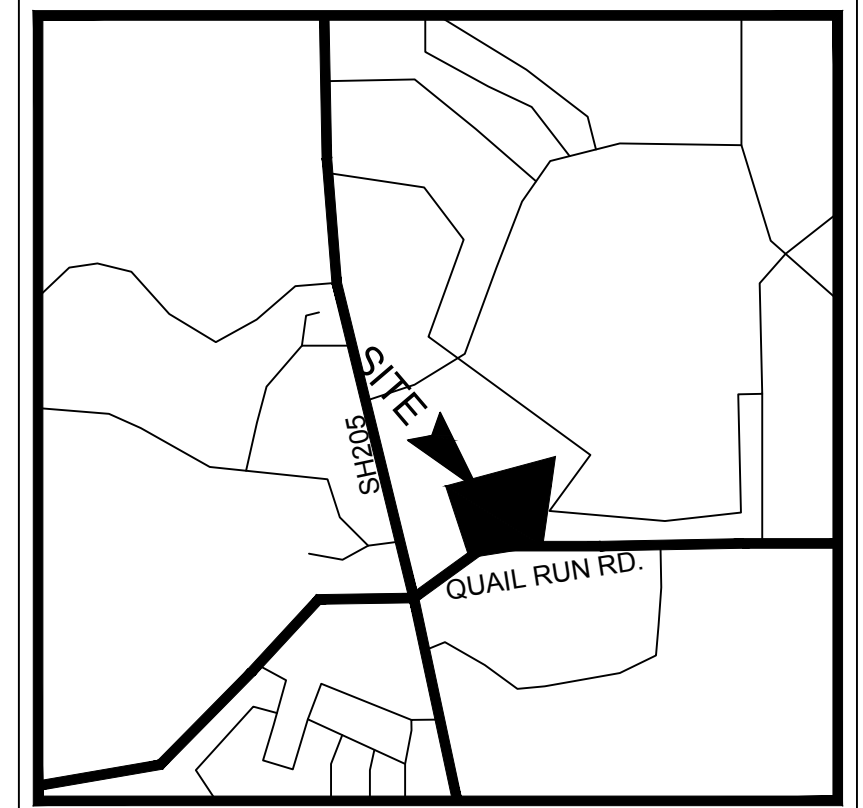
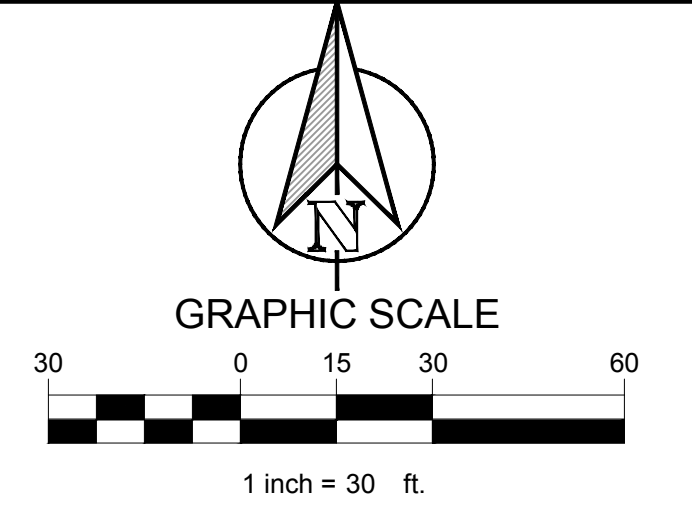
MATCHLINE- SEE NEXT PAGE

MATCHLINE- SEE NEXT PAGE



CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	FL PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)



SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
- ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
- ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
- NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
- SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

DUWEST ROCKWALL, TX
 LEGAL DESCRIPTION AND OR ADDRESS:
 STONE CREEK BALANCE LTD
 ABSTRACT, NO 131
 8.684 AC (378,275 SF)

OWNER:
 DuWEST REALTY, LLC
 4403 N. CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER:
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____

WITNESS OUR HANDS THIS ____ DAY OF ____

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 8/17/2023

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 DREW DONOSKY
 Engineer
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

SITE PLAN (1 OF 2)

SHEET
SP-1
 File No. 2022-002
 CASE # SP2022-012

NOTES BY NUMBER - MATERIAL ELEVATIONS

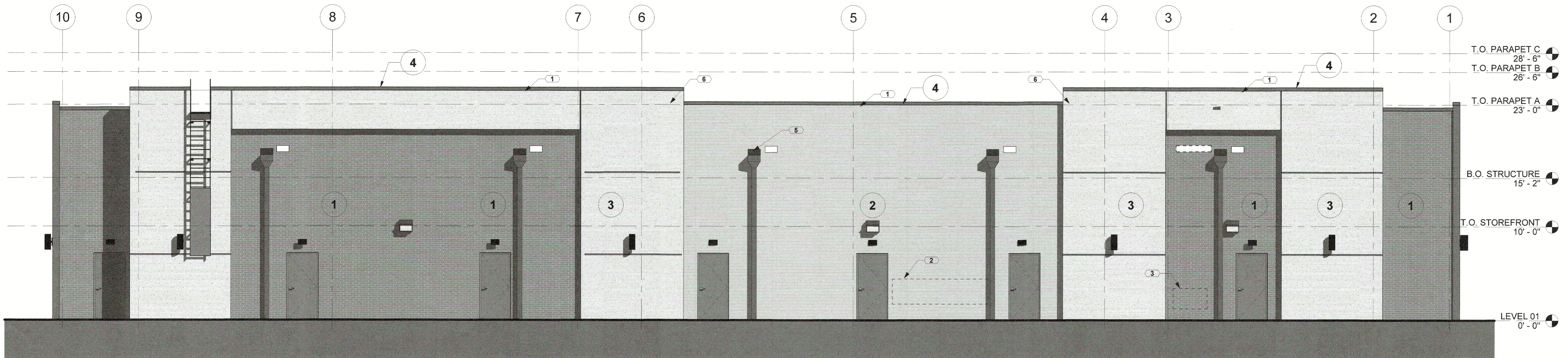
- 1 PARAPET WILL BE FINISHED ON BOTH SIDES
- 2 ELECTRICAL WIREWAY, PAINT TO MATCH ADJACENT FINISH
- 3 GAS MANIFOLD, PAINT TO MATCH ADJACENT FINISH
- 4 FUTURE DRIVE-THRU WINDOW BY TENANT
- 5 PREFINISHED METAL DOWNSPOUT, COLOR BLACK
- 6 STUCCO PLANE 8" PROUD OF STONE AND BRICK STUD

EXTERIOR ELEVATION MATERIAL CALCULATIONS - B

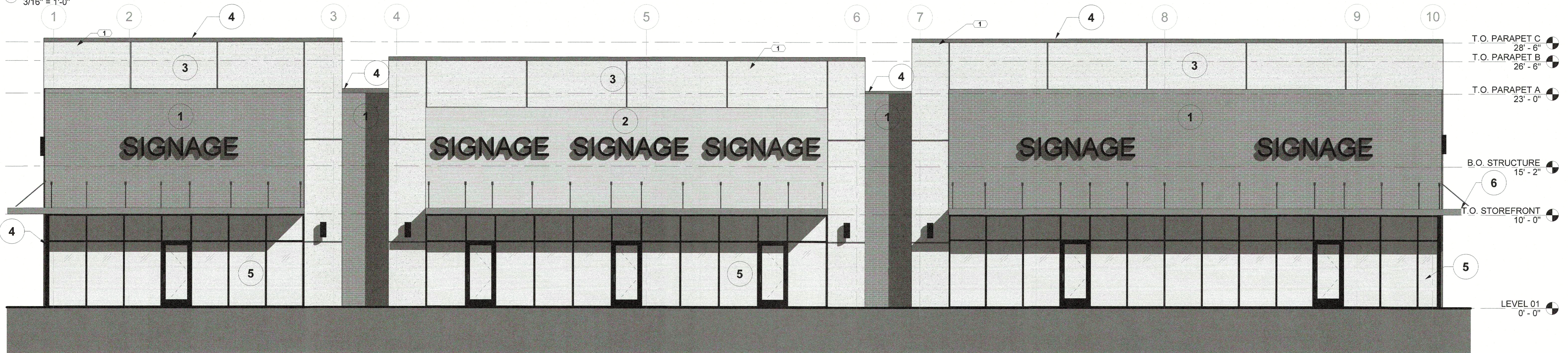
ELEVATION	STONE	BRICK	STUCCO	TOTAL
NORTH	932 SF	836 SF	1163 SF	2931 SF
SOUTH	497 SF	988 SF	939 SF	2424 SF
EAST	610 SF	342 SF	882 SF	1834 SF
WEST	610 SF	342 SF	882 SF	1834 SF
TOTAL	2655 SF	2508 SF	3866 SF	9023 SF

FINISH LEGEND

- 1. ENDICOTT THINSET BRICK - MANGANESE IRONSPOT
- 2. SMOOTH DIMENSIONALLY CUT 12", 8", 6" TALL BANDS OF BBCO TINSET LIMESTONE VENEER - NORTHWOOD LIGHT
- 3. 3 COAT PORTLAND CEMENT PLASTER BOD: CREAM
- 4. PREFINISHED COPING CAPS
- 5. STOREFRONT SYSTEM, BLACK ANODIZED
- 6. PREFINISHED METAL CANOPY



3 DESIGN SIGN OFF - NORTH ELEVATION - BUILDING A
3/16" = 1'-0"



1 DESIGN SIGN OFF - SOUTH ELEVATION - BUILDING A
3/16" = 1'-0"

DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING A



FINISH LEGEND

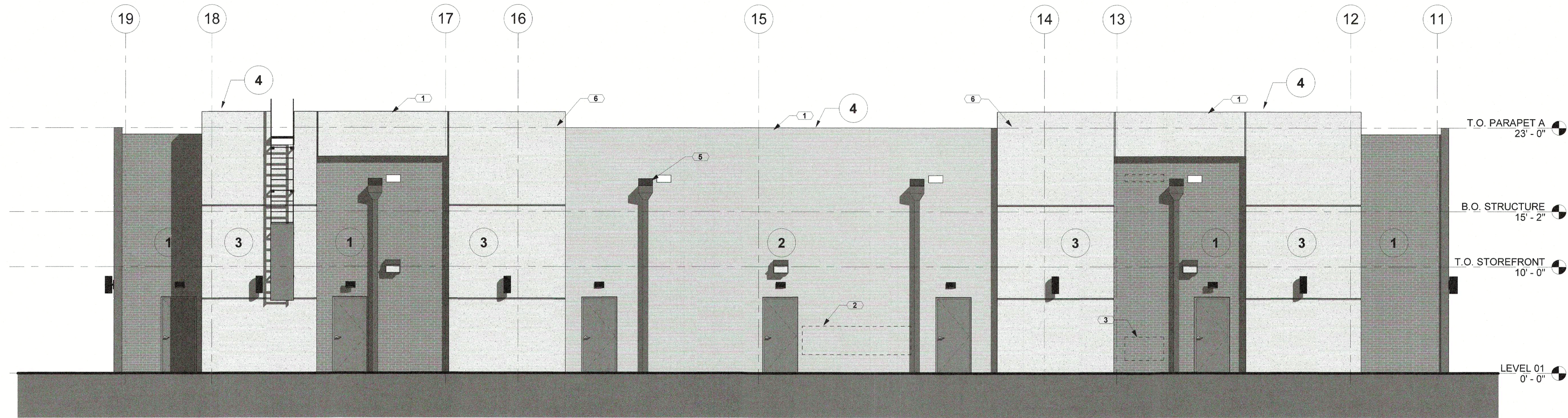
- ① ENDICOTT THINSET BRICK - MANGANESE IRONSPOT
- ② SMOOTH DIMENSIONALLY CUT 12", 8", 6" TALL BANDS OF BBCO TINSET LIMESTONE VENEER - NORTHWOOD LIGHT
- ③ 3 COAT PORTLAND CEMENT PLASTER BOD: CREAM
- ④ PREFINISHED COPING CAPS
- ⑤ STOREFRONT SYSTEM, BLACK ANODIZED
- ⑥ PREFINISHED METAL CANOPY

EXTERIOR ELEVATION MATERIAL CALCULATIONS - B

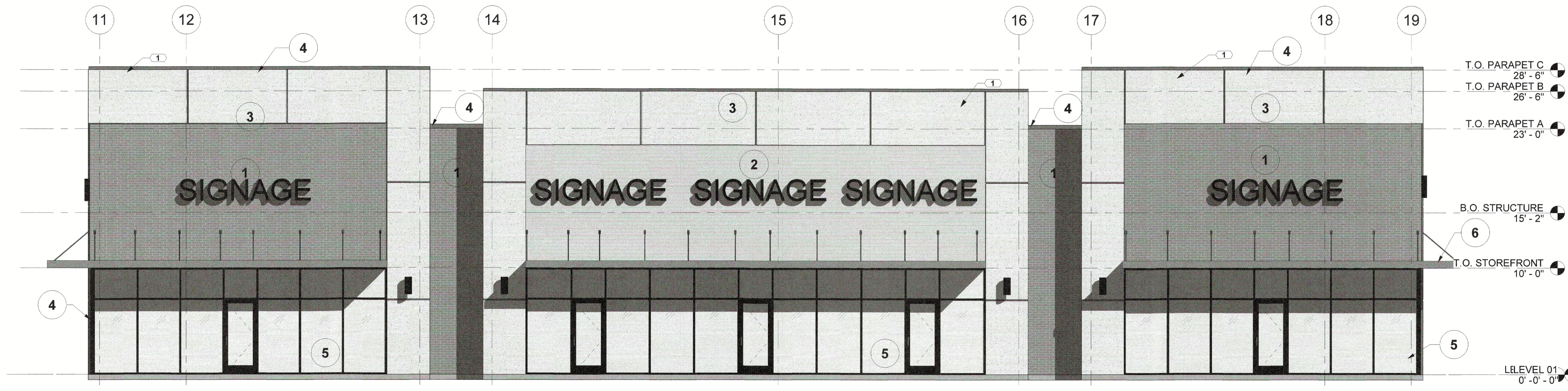
ELEVATION	STONE	BRICK	STUCCO	TOTAL
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WEST	610 SF	342 SF	882 SF	1834 SF
TOTAL	2655 SF	2508 SF	3866 SF	9023 SF

NOTES BY NUMBER - MATERIAL ELEVATIONS

- ① PARAPET WILL BE FINISHED ON BOTH SIDES
- ② ELECTRICAL WIREWAY, PAINT TO MATCH ADJACENT FINISH
- ③ GAS MANIFOLD, PAINT TO MATCH ADJACENT FINISH
- ④ FUTURE DRIVE-THRU WINDOW BY TENANT
- ⑤ PREFINISHED METAL DOWNSPOUT, COLOR BLACK
- ⑥ STUCCO PLANE 8" PROUD OF STONE AND BRICK STUD



② DESIGN SIGN OFF - NORTH ELEVATION - BUILDING B
3/16" = 1'-0"

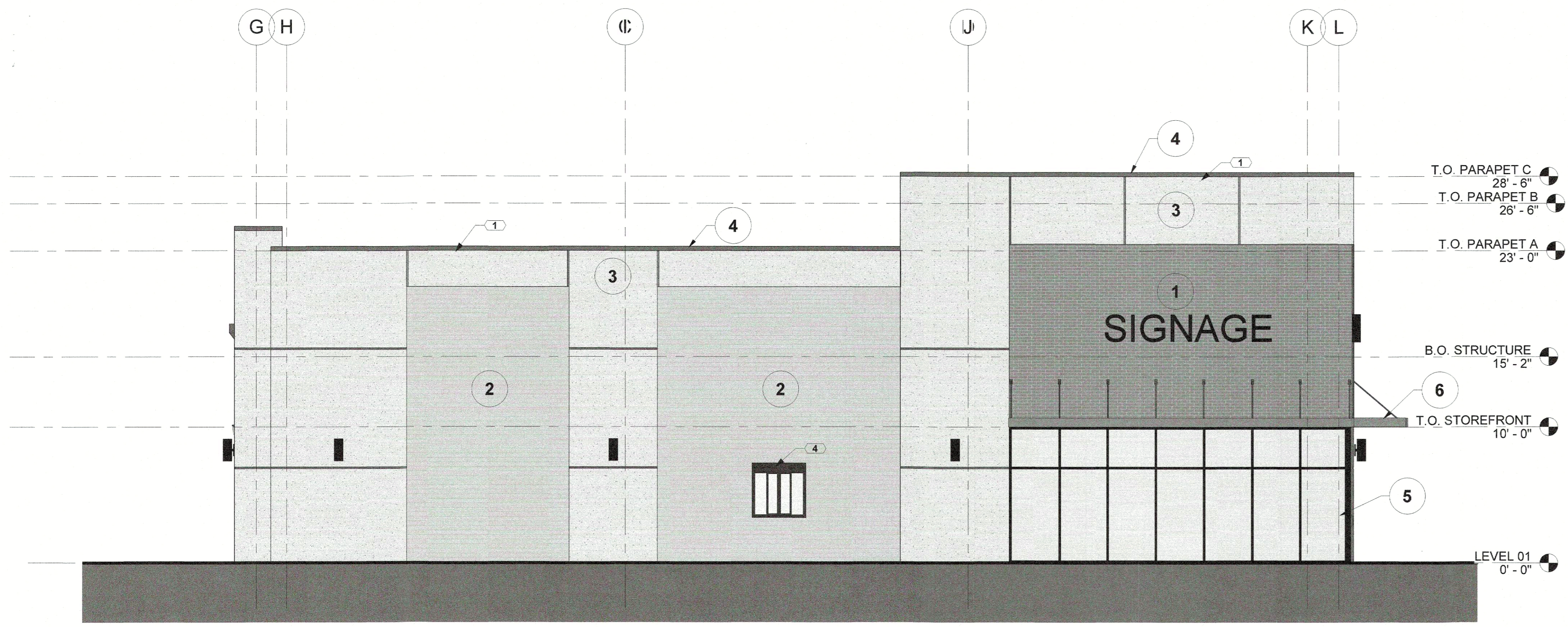


① DESIGN SIGN OFF - SOUTH ELEVATION - BUILDING B
3/16" = 1'-0"

DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING B

modus architecture

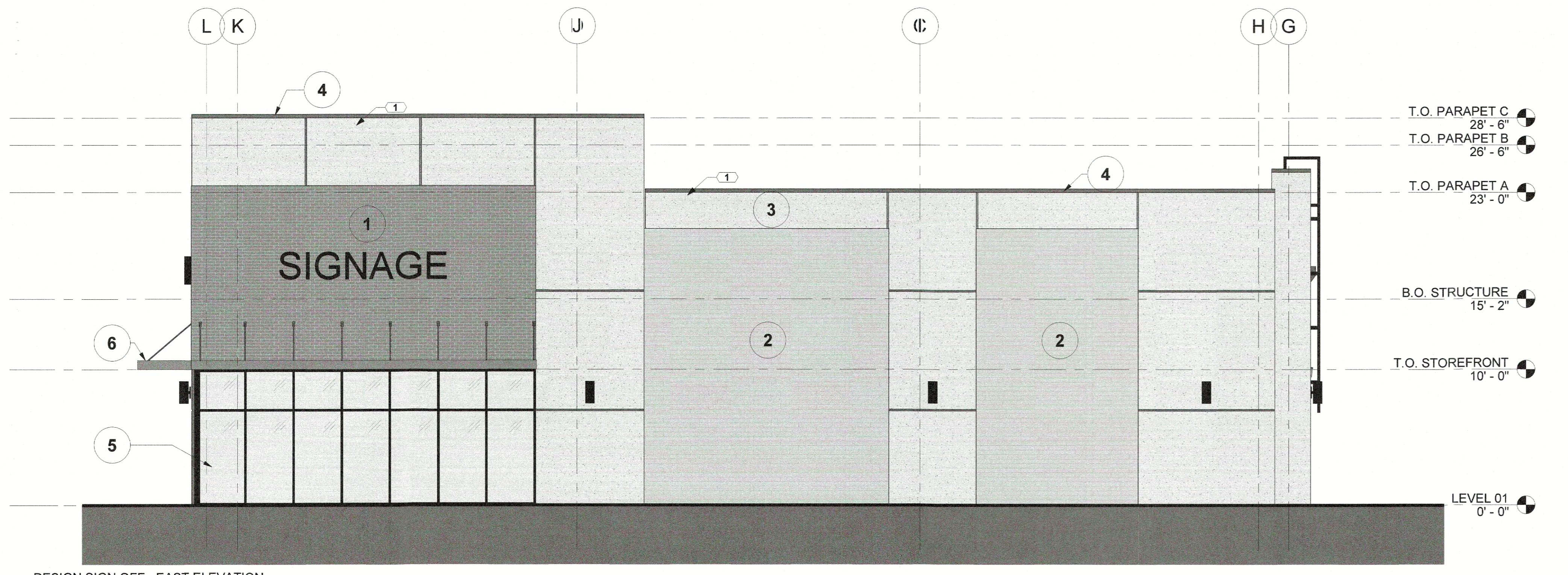


2 DESIGN SIGN OFF - WEST ELEVATION
3/16" = 1'-0"

FINISH LEGEND	
1	ENDICOTT THINSET BRICK - MANGANE IRONSPOT
2	SMOOTH DIMENSIONALLY CUT 12", 8" TALL BANDS OF BBCO TINSET LIMEST VENEER - NORTHWOOD LIGHT
3	3 COAT PORTLAND CEMENT PLASTER BOD: CREAM
4	PREFINISHED COPING CAPS
5	STOREFRONT SYSTEM, BLACK ANODI
6	PREFINISHED METAL CANOPY

EXTERIOR ELEVATION MATERIAL CALCULATIONS - B			
ELEVATION	STONE	BRICK	STUCCO
NORTH	932 SF	836 SF	1163 SF
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- NOTES BY NUMBER - MATERIAL ELEVATIONS**
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 - 2 ELECTRICAL WIREWAY, PAINT TO MATCH ADJACENT FINISH
 - 3 GAS MANIFOLD, PAINT TO MATCH ADJACENT FINISH
 - 4 FUTURE DRIVE-THRU WINDOW BY TENANT
 - 5 PREFINISHED METAL DOWNSPOUT, COLOR BLACK
 - 6 STUCCO PLANE 8" PROUD OF STONE AND BRICK STUD



1 DESIGN SIGN OFF - EAST ELEVATION
3/16" = 1'-0"

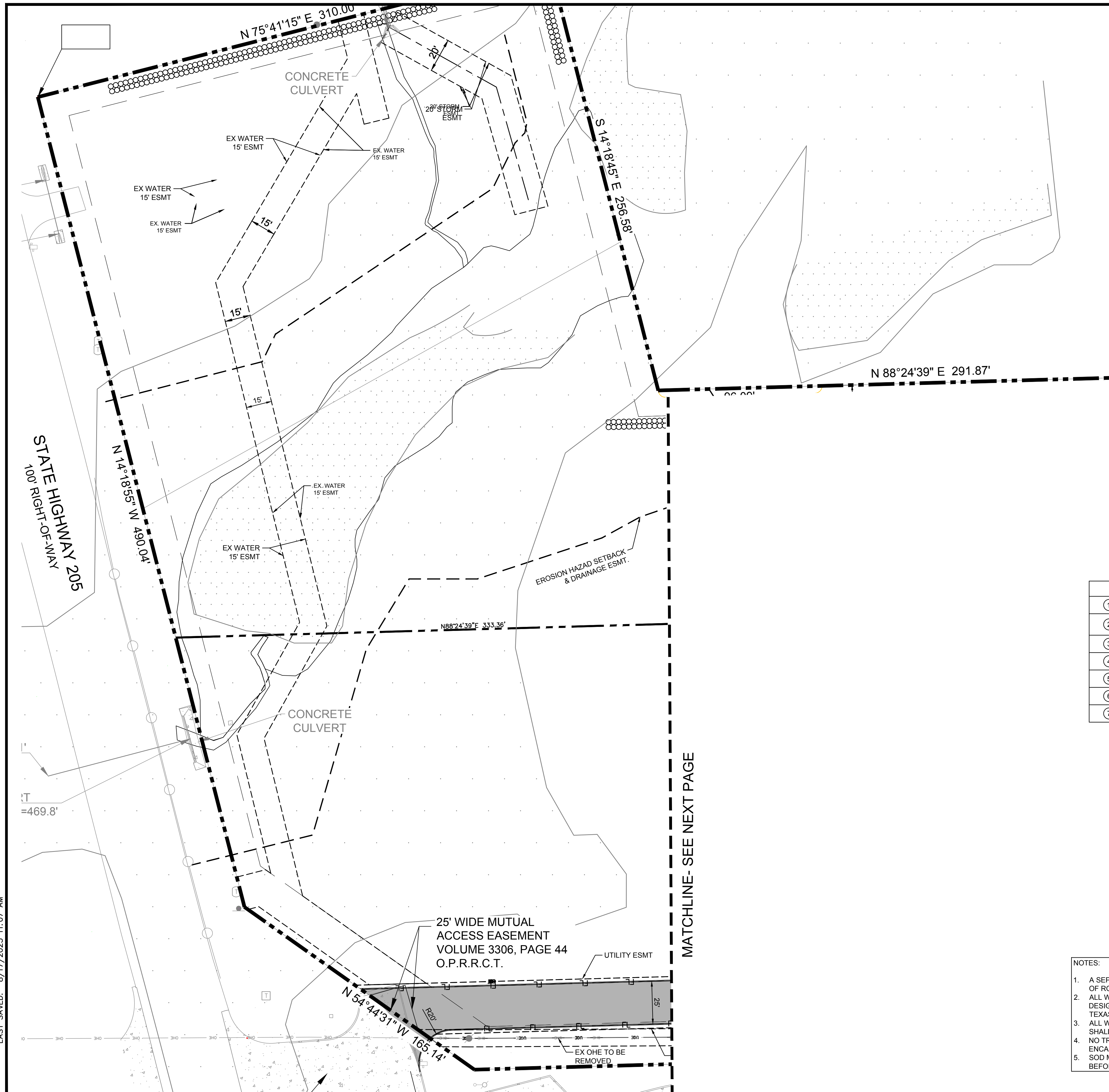
DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING A/B



THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. LOD IS NOT AN AS-BUILT DRAWING, DIMENSIONS SHOULD BE FIELD VERIFIED BY TENANT OR TENANT'S REPRESENTATIVE. ALL PLANS AND DRAWINGS ARE INTELLECTUAL PROPERTY OF MODUS ARCHITECTURE. OVERALL PLAN DIMENSIONS ARE ROUNDED TO THE NEAREST INCH. GROSS LEASABLE AREA DOES NOT INCLUDE RISER ROOM SQUARE FOOTAGE.

PLOTTED BY: JAT/KRUBARUBIDA
 PLOT DATE: 8/17/2023 10:16 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

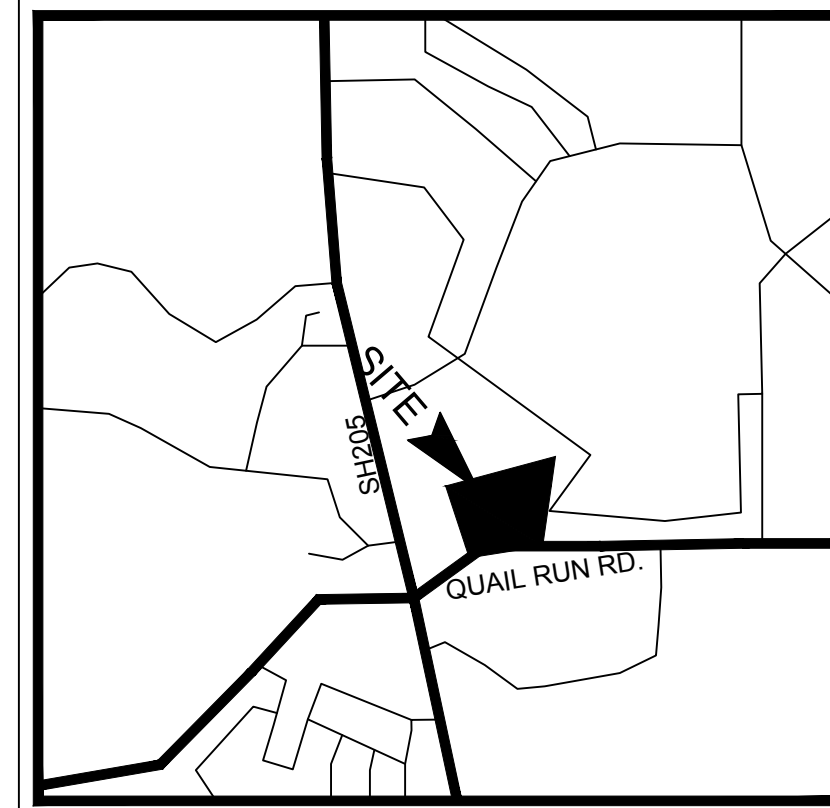
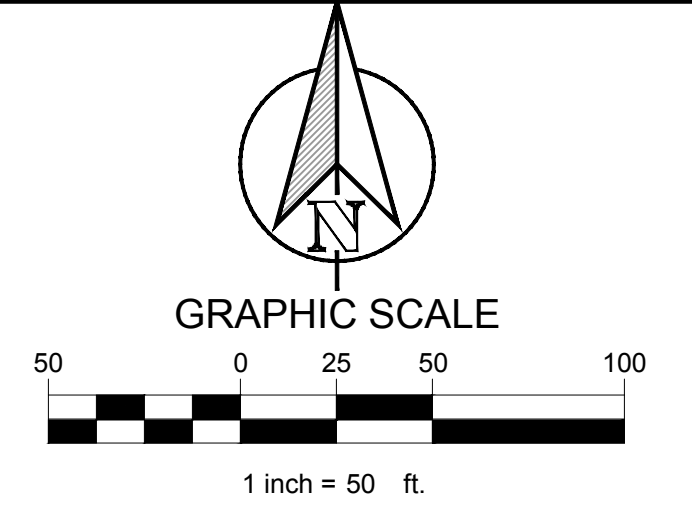
TBM #1 - ELEV. 507.40
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV. 489.60
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV. 486.4
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
 ABSTRACT, NO 131
 8.684 AC (378,275 SF)

OWNER:
 DuWEST REALTY, LLC
 4403 N. CENTRAL EXHWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

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CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: DREW DONOSKY
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

SITE PLAN (2 OF 2)

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 8/17/2023

SHEET
SP-1

File No. 2022-002
 CASE # SP2022-012

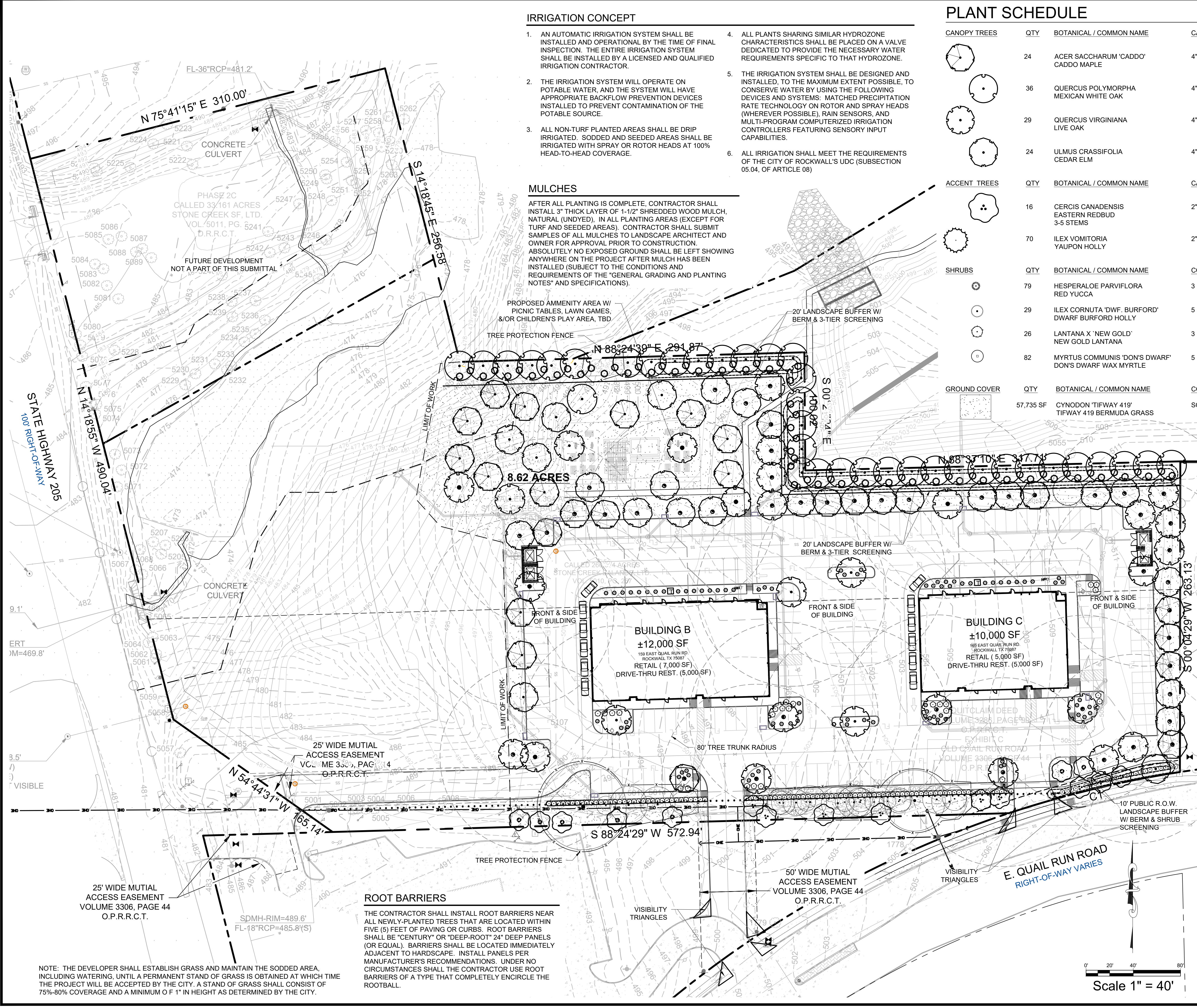


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CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 P.E. No. 125651, Exp. 8/11/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

**LANDSCAPE PLANTING
 PLAN**

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022
 SHEET
LP-1
 File No. 2022-002
 CASE # SP2022-012



IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
**STONE CREEK BALANCE LTD
 ABSTRACT, NO 131
 8.684 AC (378,275 SF)**

OWNER:

DuWest Realty, LLC
 4403 N. CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER

Z2022-003

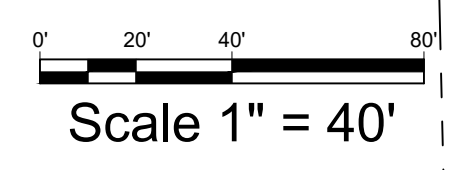
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

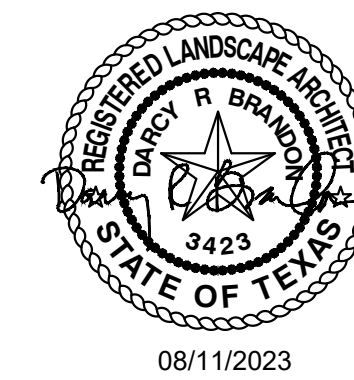
PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 4:20 PM
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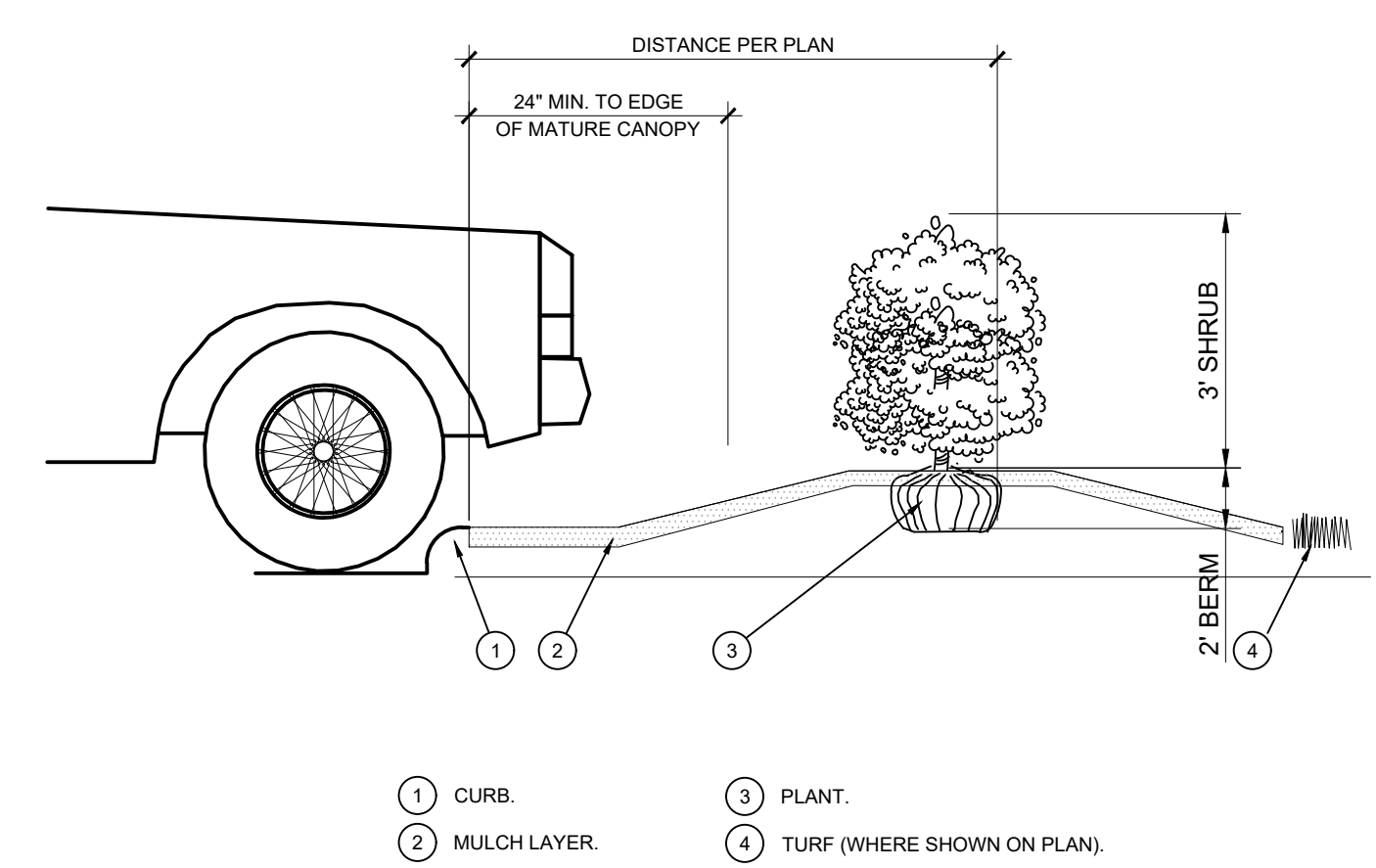


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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
DREW DONOSKY
Engineer, P.E. No. 125651, Date 8/11/2023

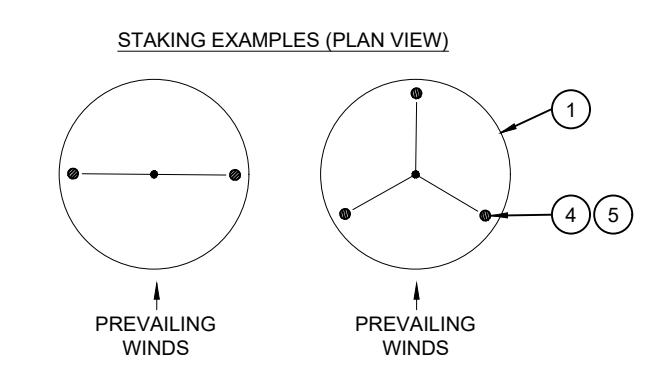
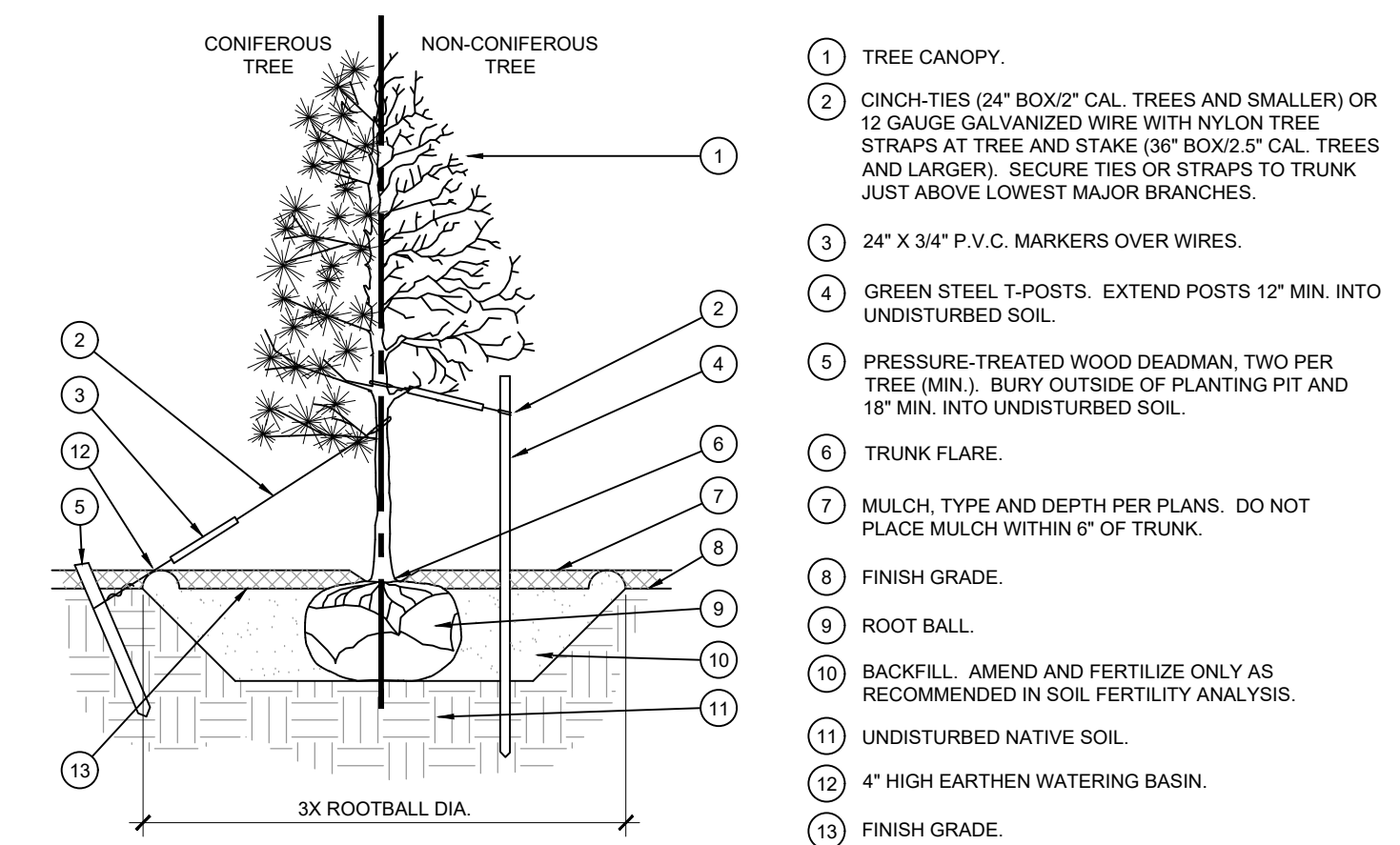
**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

**LANDSCAPE STANDARDS
PLANTING
DETAILS & NOTES**

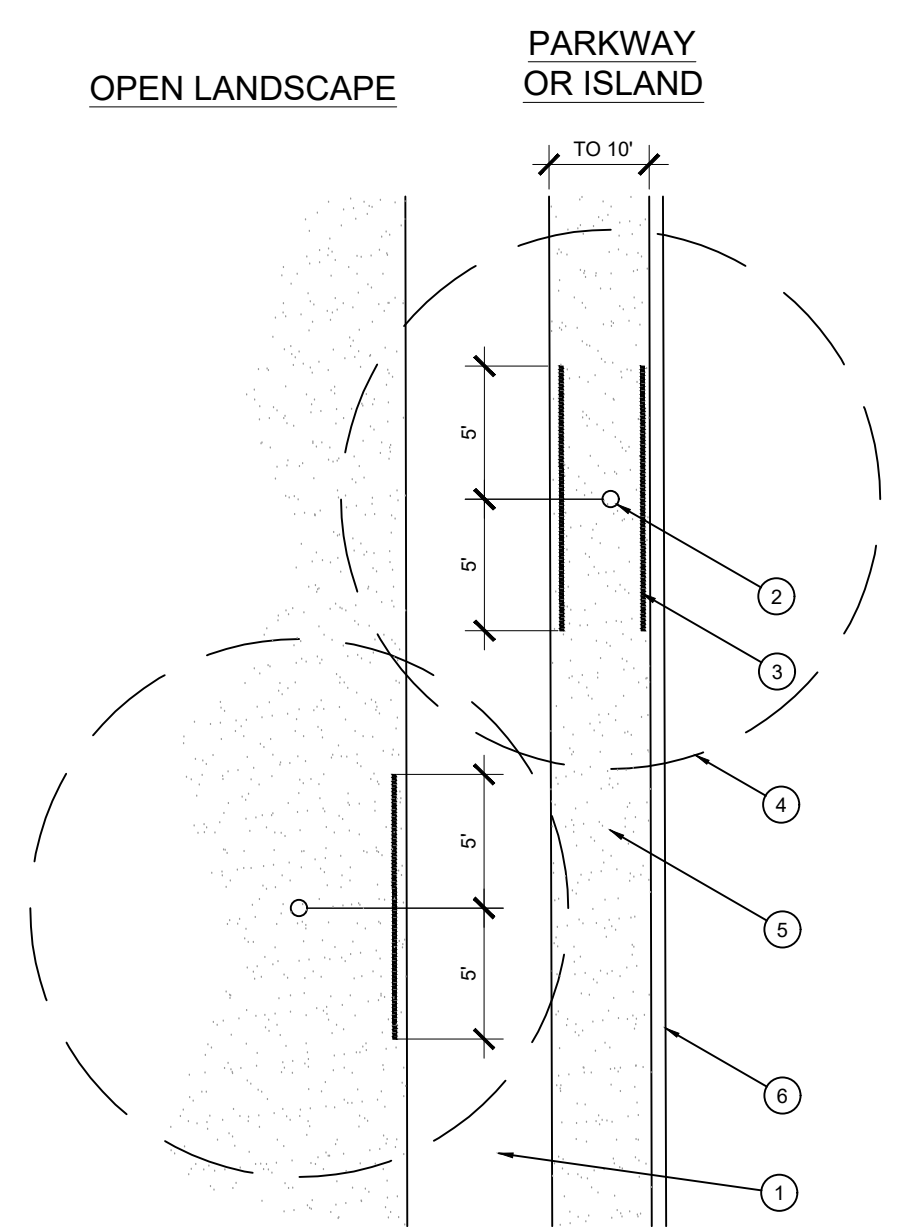
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CHECKED: CLC
DATE: 04/05/2022
SHEET
LP-2
File No. 2022-002
CASE # SP2022-012



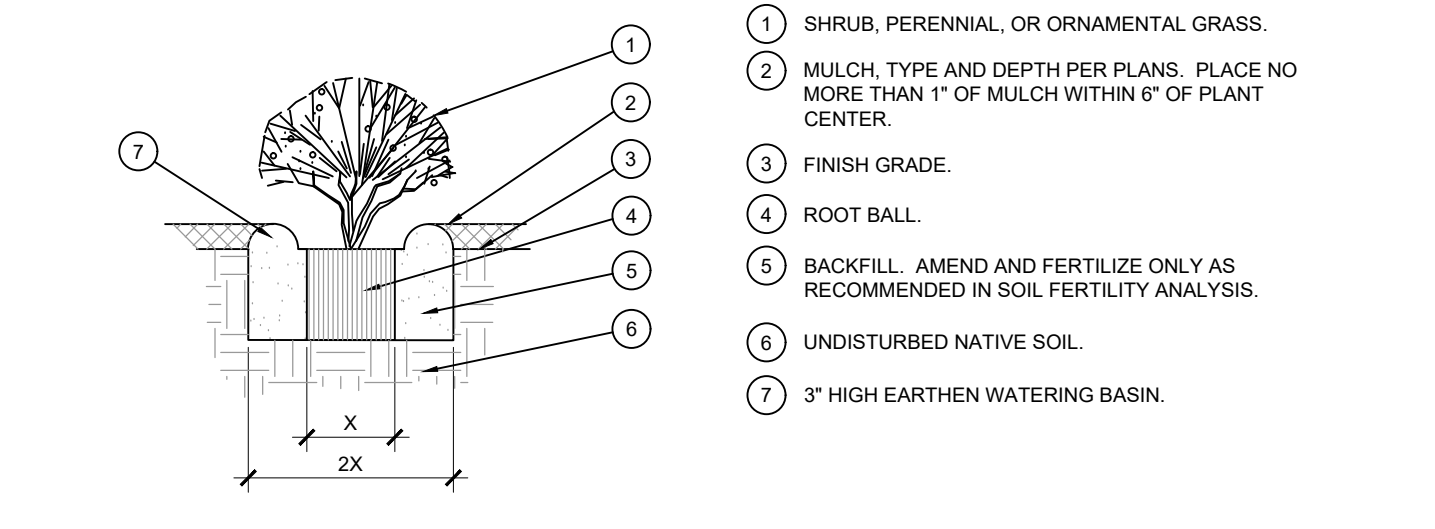
D PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



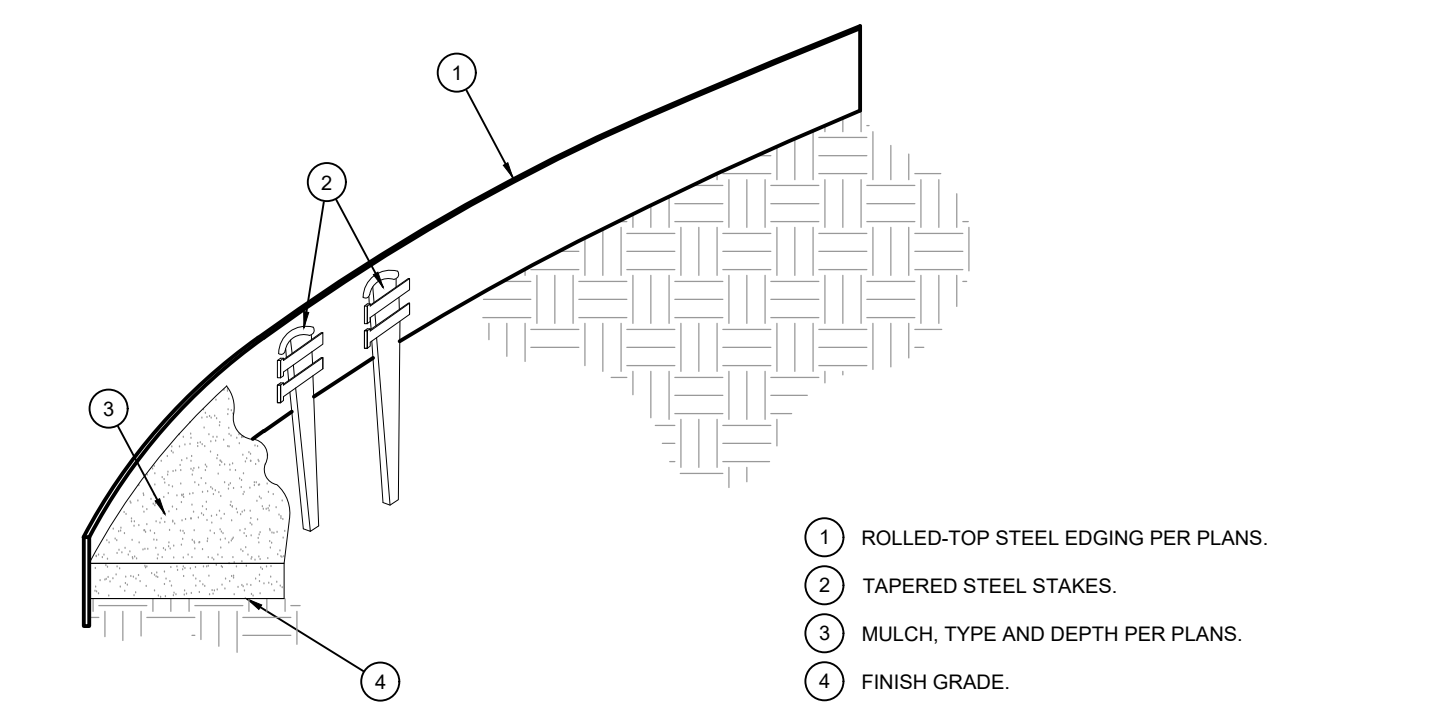
A TREE PLANTING
SCALE: NOT TO SCALE



E ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



D STEEL EDGING
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
E. QUAIL RUN RD.: ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
REQUIRED PLANTING: PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
SOUTH PROPERTY LINE BUFFER:	10 REDBUDS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
SCREENING FROM RESIDENTIAL	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	4311,062 SF 62,212.4 SF (20%) ± 186,529 SF (60%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	61,293 SF (98.5%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: PROPOSED PARKING LOT LANDSCAPING:	±5,011 SF ±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLOTTED BY: DARCY BRANDON 8/11/2023 4:19 PM
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GLAY MOORE ENGINEERING logo and contact information: 1900 CENTRAL DR. SUITE 400E, BEDFORD, TX 76021, PHONE: 817.281.0572, WWW.GLAYMOORE.COM

PRELIMINARY FOR REVIEW ONLY Not for construction purposes. CLAYMOORE ENGINEERING ENGINEERING AND PLANNING CONSULTANT DREW DONOSKY Engineer, No. 125651, Date 8/11/2023

DUWEST ROCKWALL SH 205 & QUAIL RUN RD ROCKWALL, TX

Table with 4 columns and 12 rows, likely a schedule of values or materials list.

LANDSCAPE PLANTING SPECIFICATIONS title block area.

DESIGN: LRR, DRAWN: LRR, CHECKED: CLC, DATE: 04/05/2022, SHEET LP-3, File No. 2022-002, CASE # SP2022-012

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

- 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUBVENDORS COMPLYING WITH THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS L-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE FINAL JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT 50 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS APPLICATIONS AND RECOMMENDATIONS FOR TREES, SHRUBS, PERENNIALS AND OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE A DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

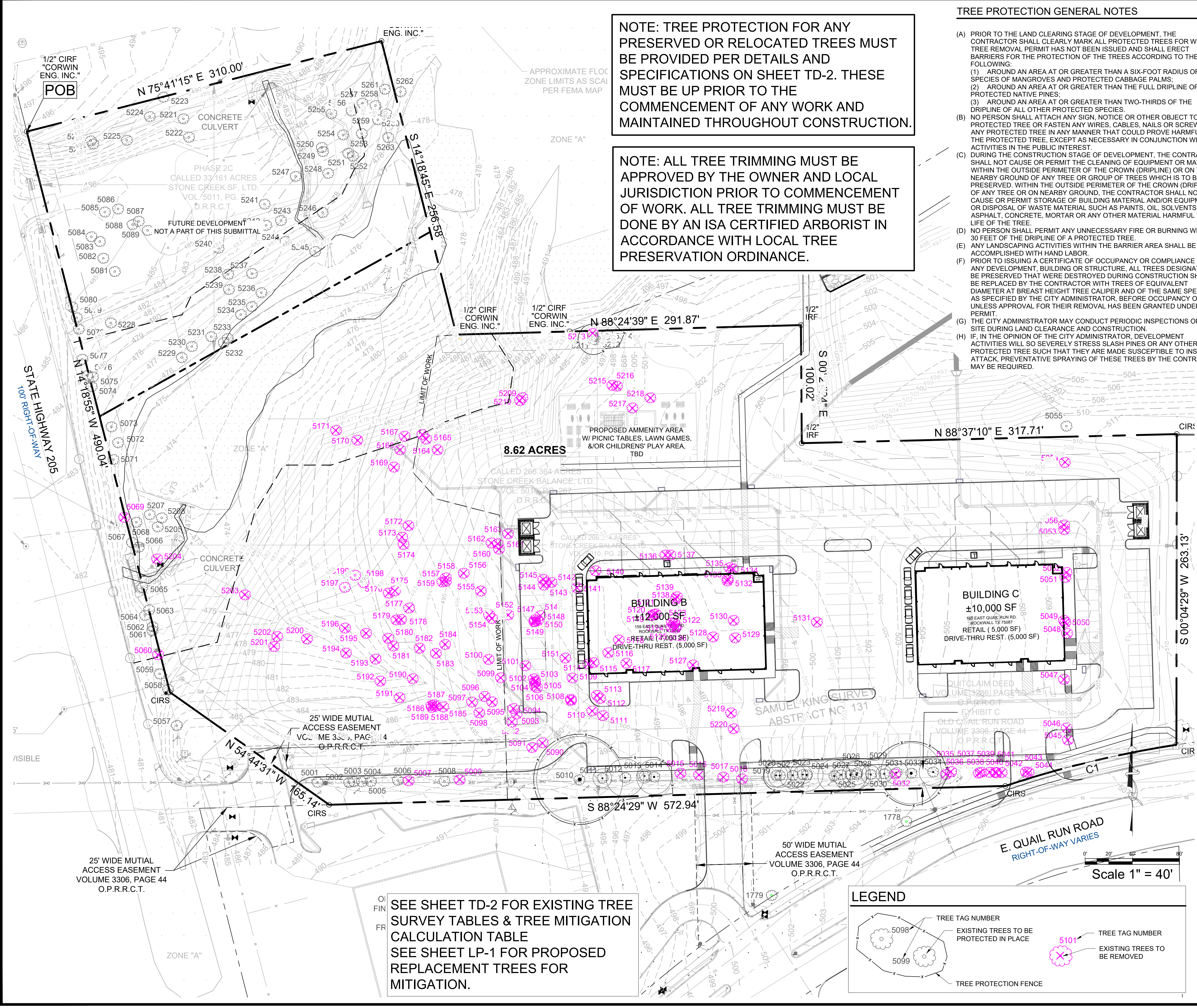
- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS IF ANY.
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENNINGS NEAR EXISTING TREES
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
a. 1"-2" TREES TWO STAKES PER TREE
b. 2-1/2"-4" TREES THREE STAKES PER TREE
c. TREES OVER 4" CALIPER GUY AS NEEDED
d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB PERENNIAL AND TURF PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

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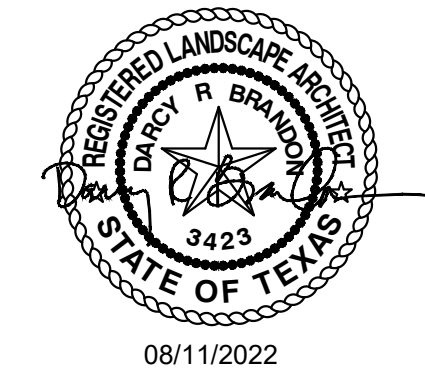
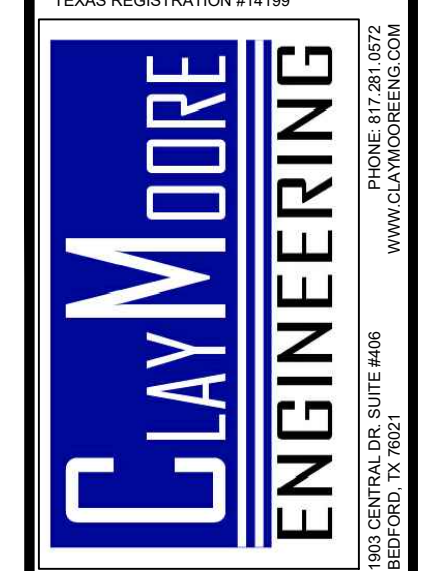


NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
TOTAL MITIGATION PROVIDED:	1044.5"

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
**STONE CREEK BALANCE LTD
 ABSTRACT NO 131
 8.684 AC (378,275 SF)**

OWNER:
 DuWest Realty, LLC
 4403 N. CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER:
 Z2022-003

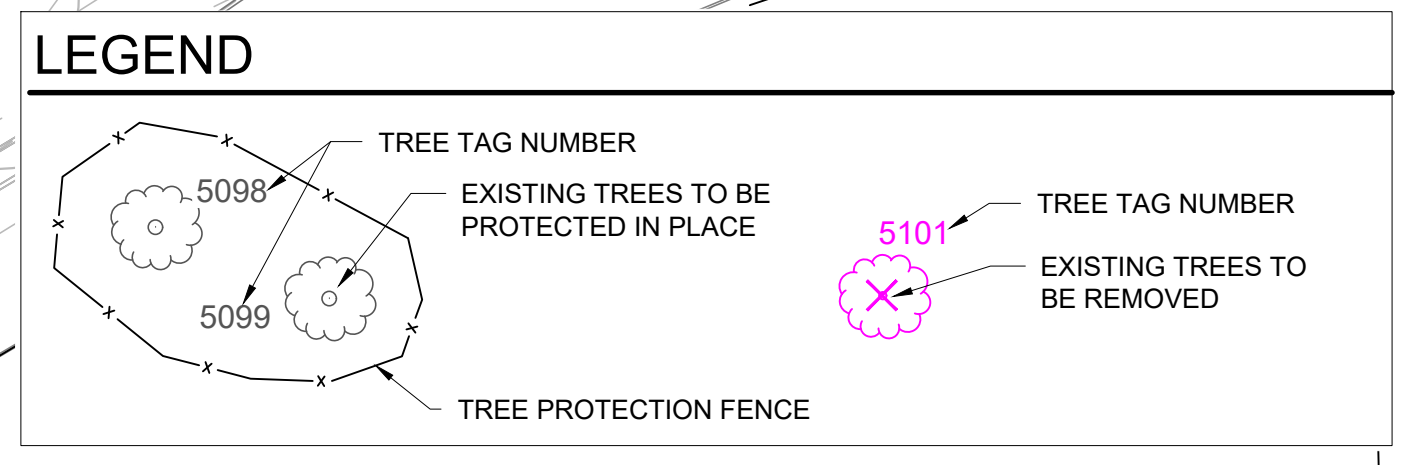
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 Engineer, No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

TREESCAPE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022
 SHEET
TD-1
 File No. 2022-002
 CASE # SP2022-012

EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14

TOTAL CALIPER INCHES	1,599
CALIPER INCHES NON-PROTECTED	623
TOTAL CALIPER INCHES PROTECTED	1,165
TOTAL CAL. IN. DEAD OR POOR COND.	68
TOTAL CALIPER INCHES REMOVED*	716
TOTAL CALIPER INCHES PRESERVED	449
MITIGATION REQUIRED	1,058*

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
**STONE CREEK BALANCE LTD
 ABSTRACT. NO 131
 8.684 AC (378,275 SF)**

OWNER:
 DuWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

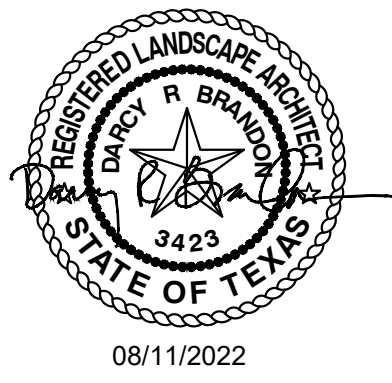
 DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN
EXISTING TREE INVENTORY**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
TD-2

File No. 2022-002
 CASE # SP2022-012



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 Engineer, License No. 125651, State of Texas, dated 8/11/2023

**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:56 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_Td-2022-08-10.DWG
 LAST SAVED: 8/11/2023 2:56 PM

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

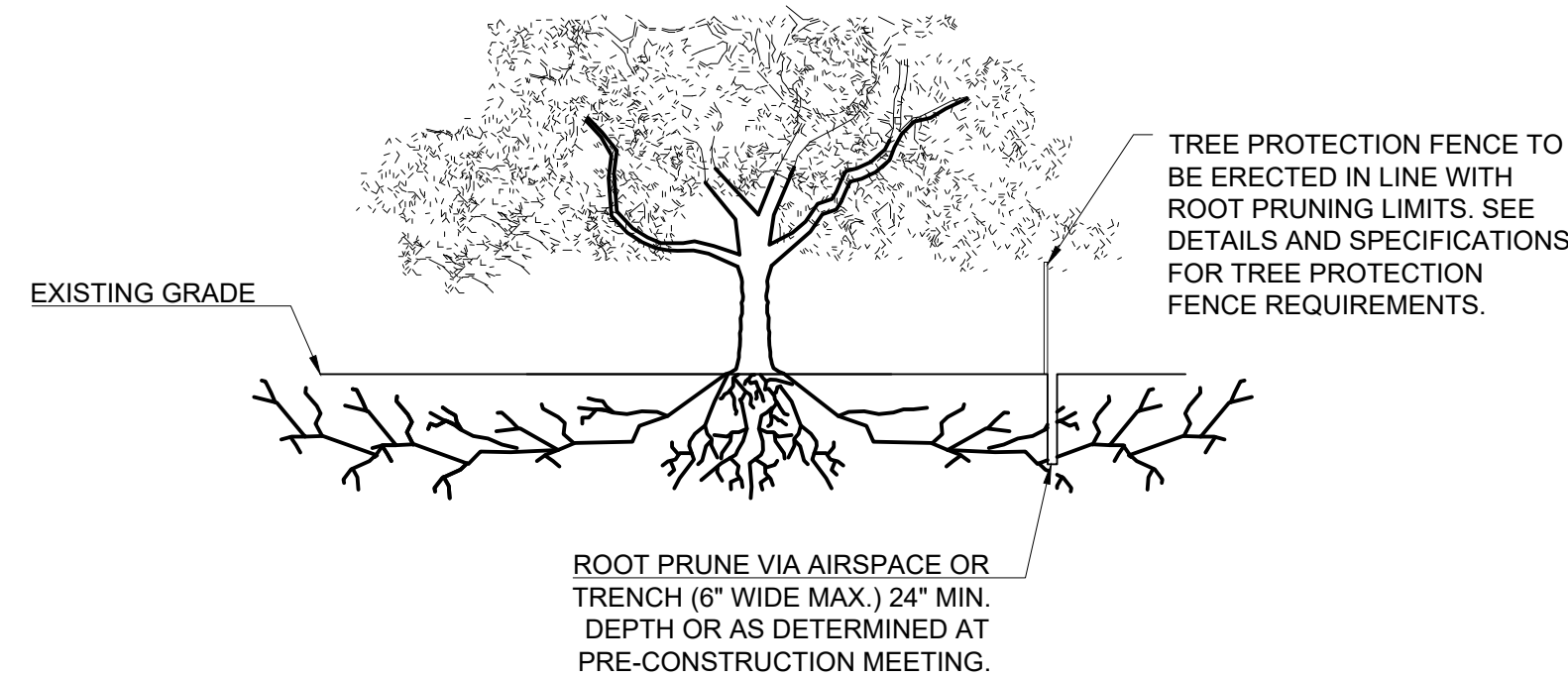
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

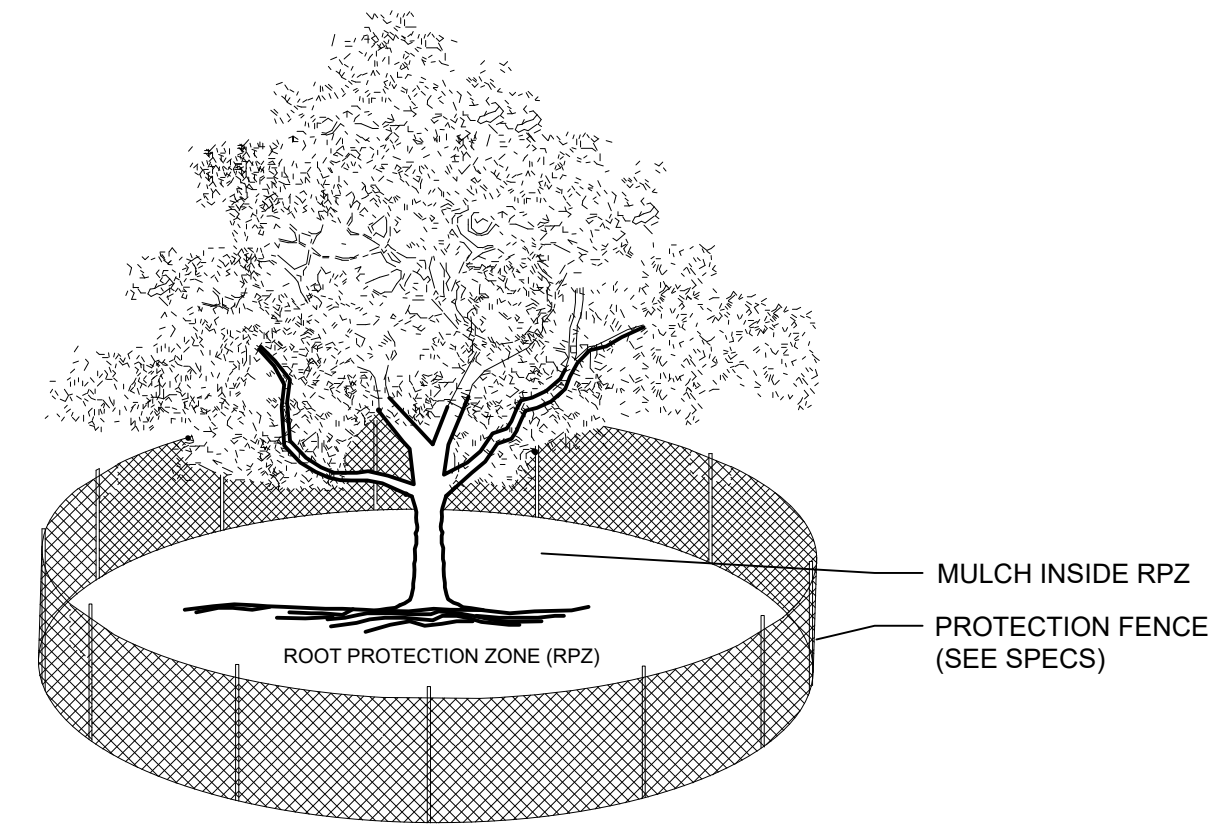
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



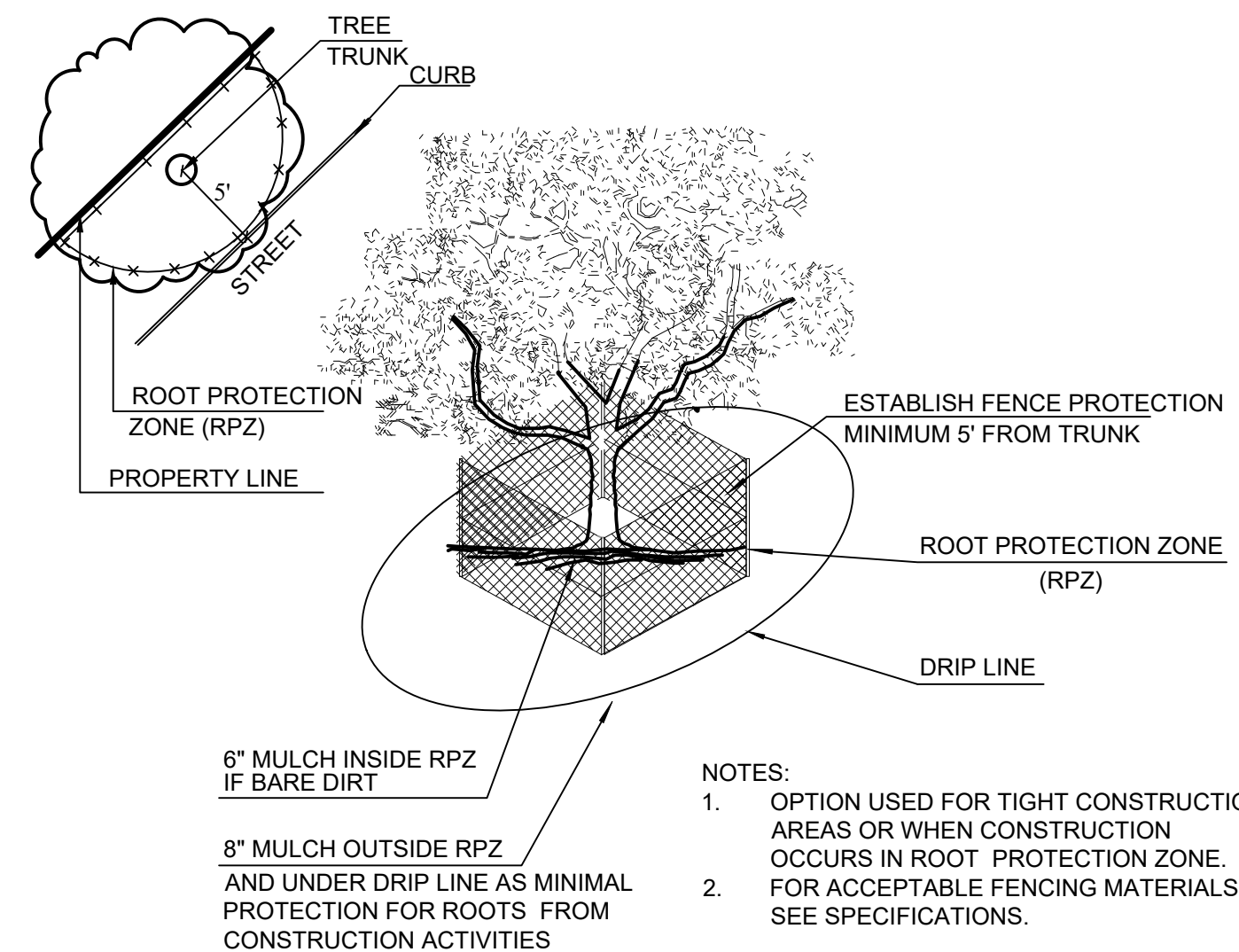
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



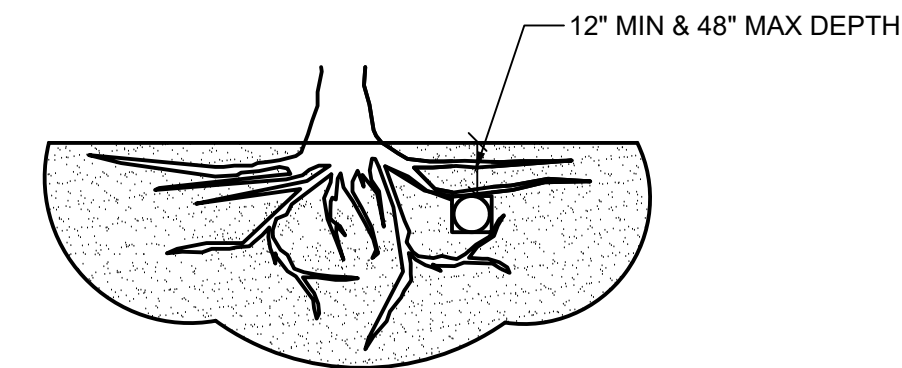
NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

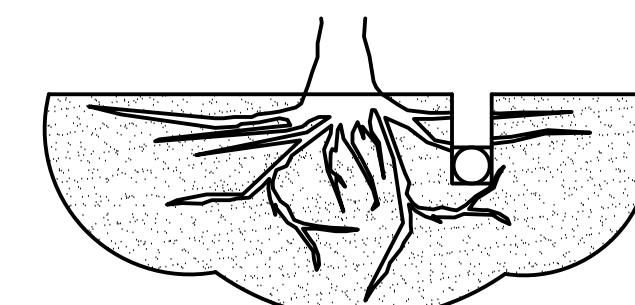
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

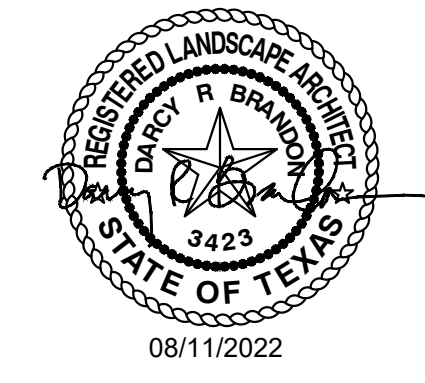


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
DREW DONOSKY
Engineer, 125651, State, 8/11/2023
P.E. No. 125651, State, 8/11/2023

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

**STONE CREEK BALANCE LTD
ABSTRACT, NO 131
8.684 AC (378,275 SF)**

OWNER:

DUWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN
DETAILS & SPECIFICATIONS**

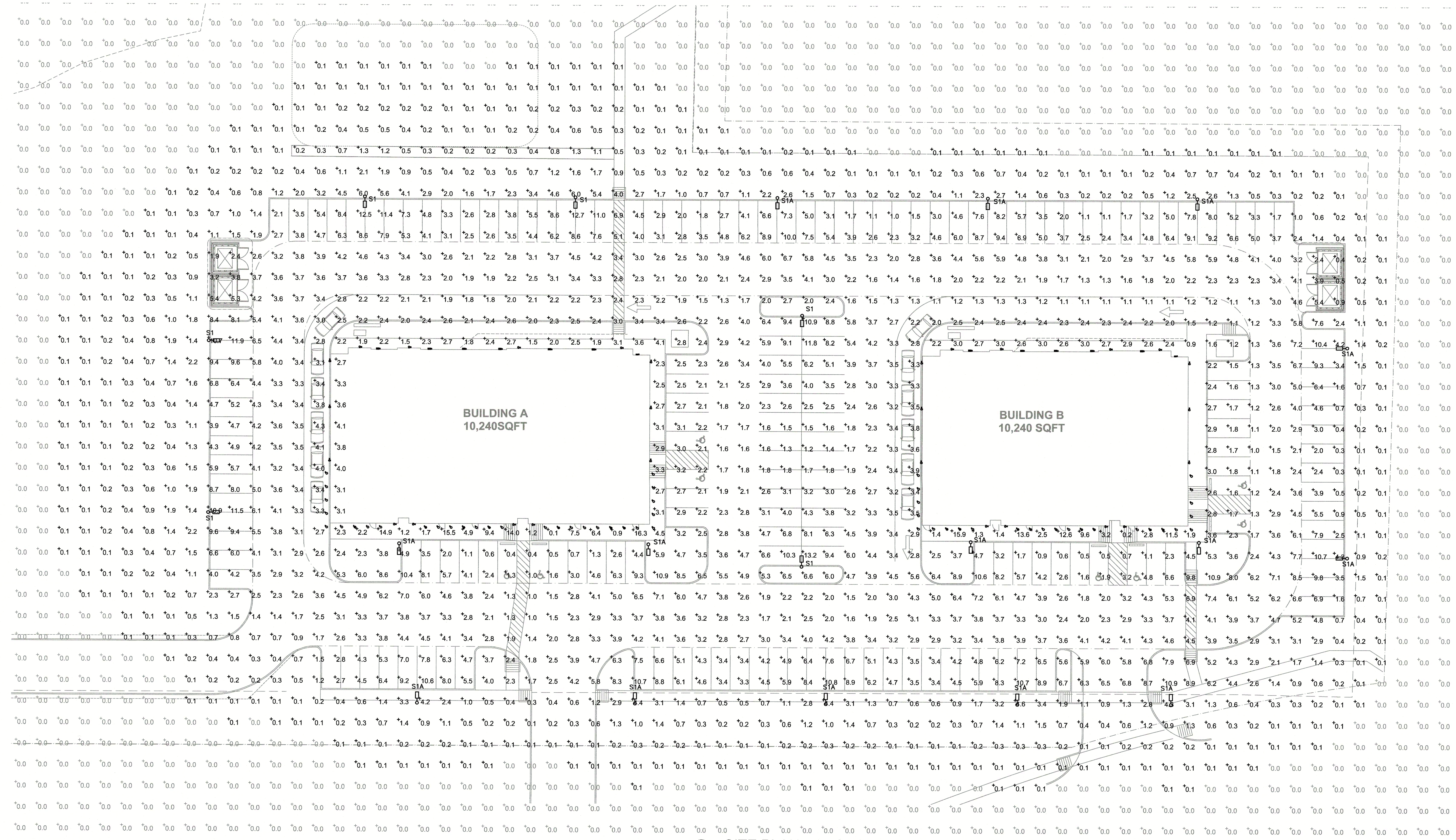
DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 04/05/2022

SHEET

TD-3

File No. 2022-012
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:57 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
 LAST SAVED: 8/11/2023 2:56 PM



1 SITE PLAN - PHOTOMETRICS
SCALE: 1"=20'-0"

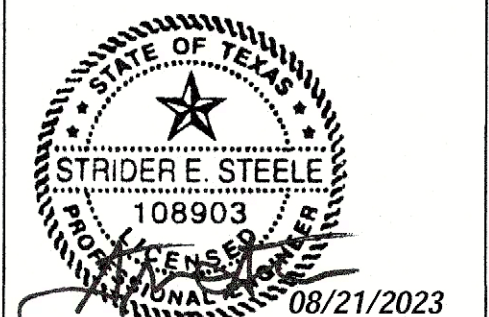
LIGHTING SCHEDULE						
TYPE	DESCRIPTION	VOLTAGE	LAMP			FIXTURE
			NO.	TYPE	MOUNTING	MANUFACTURER CAT. #
A	LED STRIP LIGHT	120V	1	31W	SURFACE/	DAY-BRITE
	WITH EMERGENCY PER PLAN			LED	CHAIN	FSSEZ40L840-UNV-EMLED / FKR-126
B	WALL MOUNTED LED SCONCE	120V	1	20W	SURFACE	ADVANCED LIGHTING SOLUTIONS
	WITH EMERGENCY PER PLAN			LED		WS-D-30K-BK-U
C	LED WALL PACK	120V	1	27W	SURFACE	ADVANCED LIGHTING SOLUTIONS
	WITH EMERGENCY PER PLAN			LED		WP27-40-FC-DB-U-D-EMB-SW
D	LED CANOPY LIGHT	120V	1	15W	RECESSED	LIGHTOLIER
	WITH EMERGENCY PER PLAN			LED		4RN / Z4RDL15840WDCDZ10U
E1	EXIT SIGN WITH DUAL HEAD	120V	2	1W	SURFACE	CHLORIDE
	EMERGENCY LIGHT			LED		VLLCR
SITE LIGHTING						
S1	LED SITE POLE LIGHT	120V	1	150W	SURFACE	ADVANCED LIGHTING SOLUTIONS
				LED	18AFG	ALV-150-40-T4-SR-DB-U-D
S1A	LED SITE POLE LIGHT	120V	1	150W	POLE	ADVANCED LIGHTING SOLUTIONS
				LED	18AFG	ALV-150-40-T2-SR-DB-U-D

PERMIT SET

DUWEST ROCKWALL - RETAIL SHELL
199 E. QUAIL RUN RD.
ROCKWALL, TX 75089

ISSUE DATE: 08/04/2023
MODUS JOB #: 210409

REVISION DATES:



SHEET NUMBER

PH1.01

SHEET NAME
SITE PLAN
PHOTOMETRICS

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-030
PROJECT NAME: Site Plan for Clay Cooley
SITE ADDRESS/LOCATIONS: 1540 E INTERSTATE 30

CASE CAPTION: Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-030) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please remove all signage; all signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

I.5 The subject property will need to replat to establish easements that have changed.

M.6 Please provide a 11x17 material sample board before the Planning and Zoning Work Session meeting. The material sample board is a submittal requirement for a site plan. (Subsection 03.04. A, of Article 11, UDC)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

M.8 Site Plan:

- (1) Please indicate the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the building dimensions of all existing and proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please indicate the distance between buildings. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please correct the parking tables; there is a parking table on the site plan and landscape plan. In addition the parking requirement for the service bays is 1 parking space per 2 bays. Given this, the total parking requirement might shift slightly. (Subsection 03.04. B, of Article 11, UDC)
- (5) Is there any proposed ground mounted or roof mounted utility equipment? If so, please indicate them (if roof mounted they must be cross-hatched) and the subsequent screening. (Subsection 01.05. C, of Article 05, UDC)
- (6) Please indicate that the dumpster enclosure gates will be self-latching (i.e. cane bolts do not satisfy this requirement). (Subsection 01.05. B, of Article 05, UDC)

M.9 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
- (2) Light levels shall not exceed 0.3 FC within the front yard of the development. The remainder will comply with the 0.2 FC at all property lines. (Subsection 03.03. E.2, of Article 07)
- (3) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations:

- (1) Please indicate that the stucco will be 3-part stucco. (Subsection 06.02, Article 05, UDC)
- (2) Please cross-hatch any proposed roof top units. (Subsection 04.01. C, of Article 05, UDC)

I.11 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] cementitious material, [2] 20% stone, [3] four-sided architecture, [4] articulation, [5] roof pitch, and [6] garage door orientation. That being said, these variances were approved as part of the SUP process.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

- 08/25/2023:
1. Is this area a drive aisle? If so you'll need to label 24' width and removal of parking stripes.
 2. These spaces will need to be re-striped as well - no parking allowed within the minimum 24ft drive aisle.
 3. Is the old FAUE going to be abandoned?
 4. Dimension the drive aisle of the care wash.
 5. Confirm this is the 60' Dedicated street right-of-way per plat.
 6. Please label this line.

7. Please show the entire property so we can see where you are tying into the sewer system.
8. Add note regarding the oil/water separator and dumpster drain requirement.
9. Please label this line.
10. Confirm proposed trees are the required distance away from existing and proposed utilities.
11. Also, confirm proposed trees are the required distance away from existing and proposed utilities.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

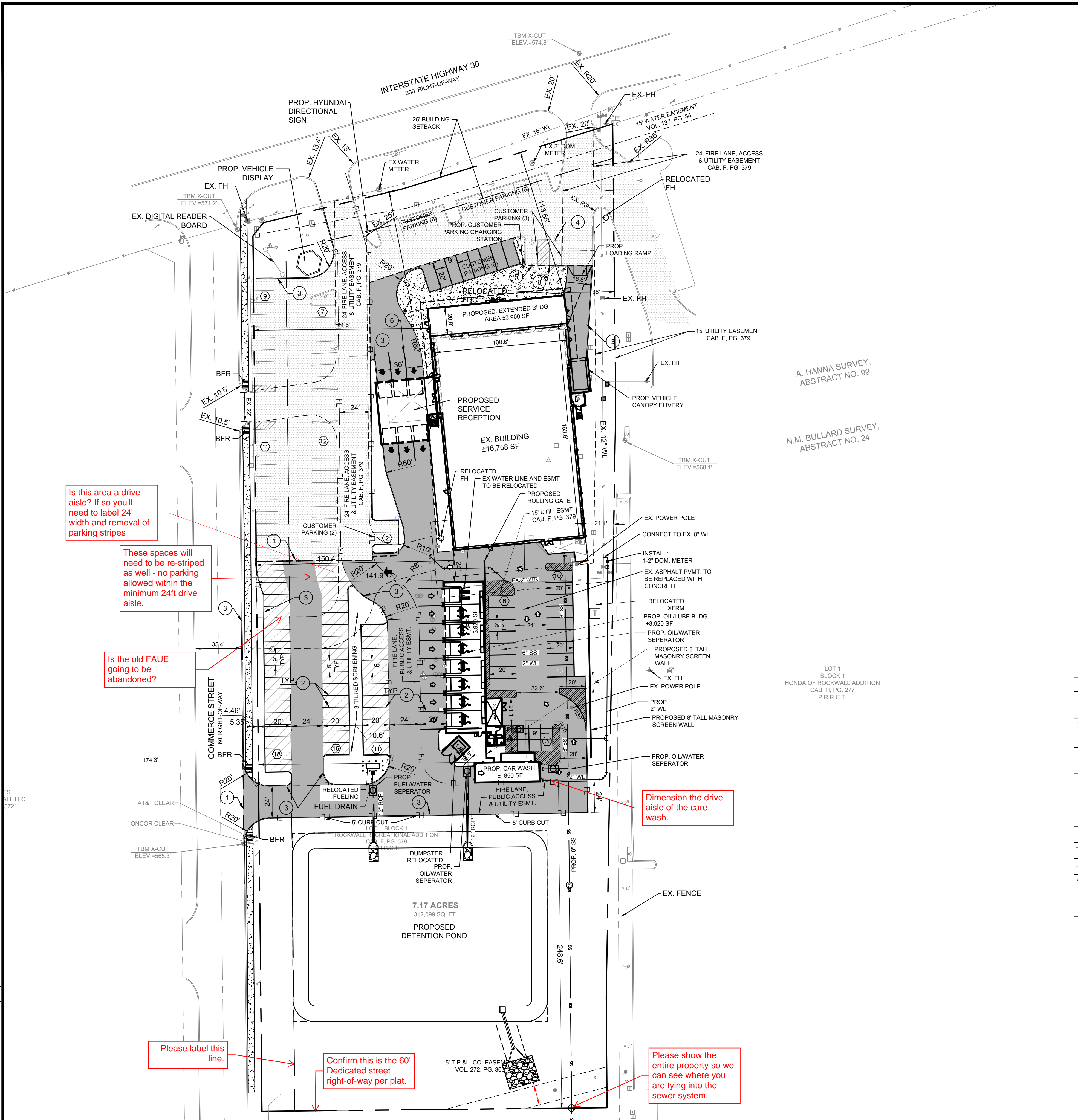
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. All parking spaces must be within 80' of a tree canopy

2. All parking along Commerce Street and I-30 must have a headlight glare screen which is evergreen shrubs 24" tall at time of planting that are planted 36" on center.

3. Tifway 419 is an excellent turf variety but (2) newer variety are Tif Tuf and Tahoma 31 that are more drought, wear, cold and shade tolerant you might want to look at.

PLOTTED BY: LYNN ROWLAND
 PLOT DATE: 8/18/2023 12:02 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG
 LAST SAVED: 7/21/2023 8:01 AM



SITE DATA	
SITE AREA	
ZONING	
PROPOSED USE	
BUILDING SIZE	
LOT COVERAGE	
FLOOR TO AREA RATIO	
BUILDING HEIGHT	
SALES FLOOR AREA	
OFFICE AREA	
# OF BAYS	
PARKING DATA	
PARKING RE	
SALES FLOOR 1/ 250 SF	
OFFICE SF 1/ 300 SF	
2 PER 2 BAY	
TOTAL:	
PARKING PROV	
DISPLAY PARKING	
CUSTOMER PARKING	2
SERVICE/STORAGE PARKING	

CONSTRUCTION S	
[Symbol]	EXISTING CONCRE
[Symbol]	FIRE LANE AND DRIVE ASILE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
[Symbol]	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
[Symbol]	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
[Symbol]	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

7. ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.	
CLAY COOLEY HYUNDAI ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND/OR ADDRESS: ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF)	
OWNER: CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER Z2021-049	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.	
WITNESS OUR HANDS THIS ____ DAY OF ____.	
DESIGN: LRR	
DRAWN: LRR	
CHECKED: CLC	
DATE: 8/18/2023	
PLANNING AND ZONING COMMISSION, CHAIRMAN	
DIRECTOR OF PLANNING AND ZONING	

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
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- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

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- Parking to be 20x9' min.
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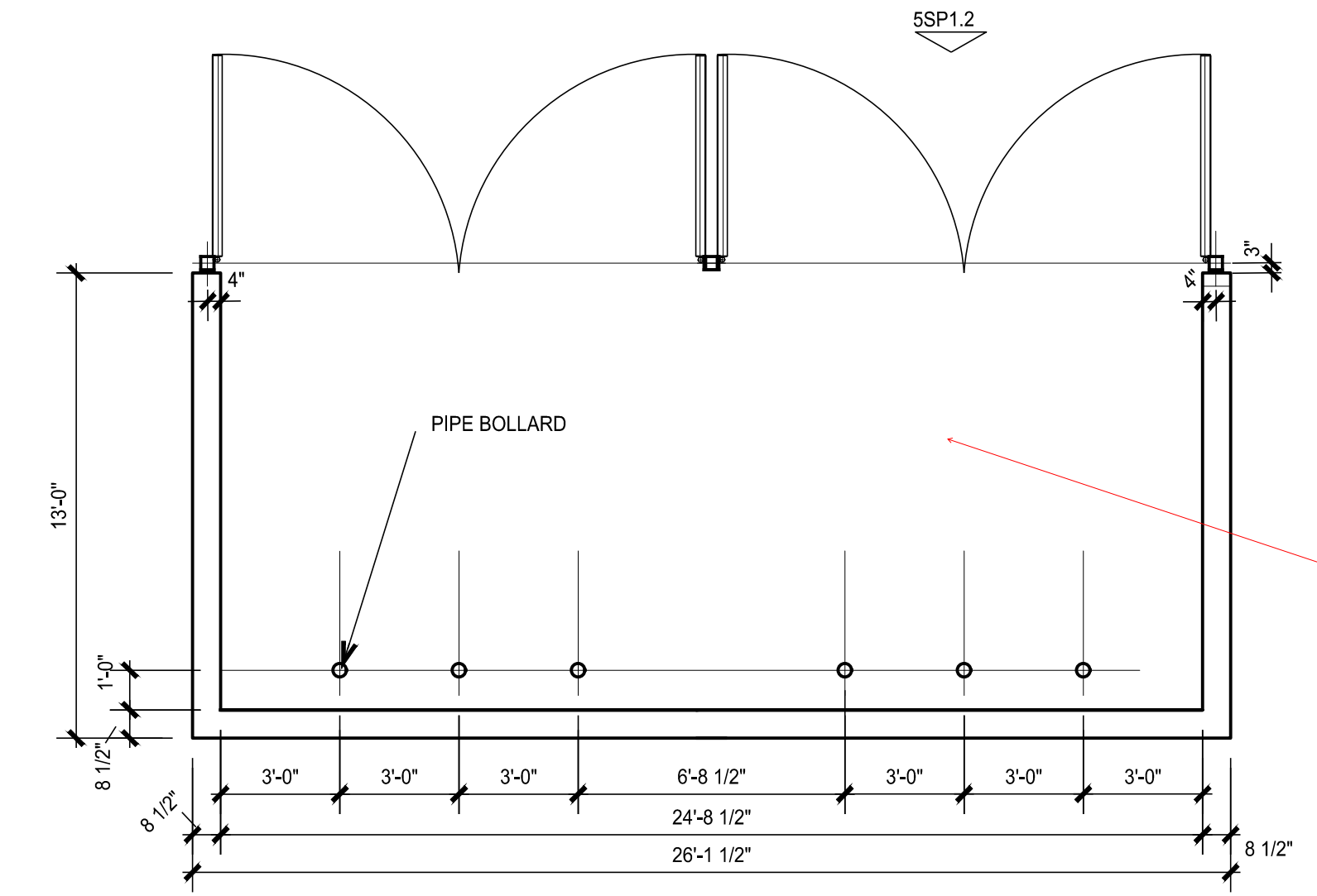


CLAY COOLEY HYUNDAI
 1540 I-30
 ROCKWALL, TX 75087

CITY SITE PLAN

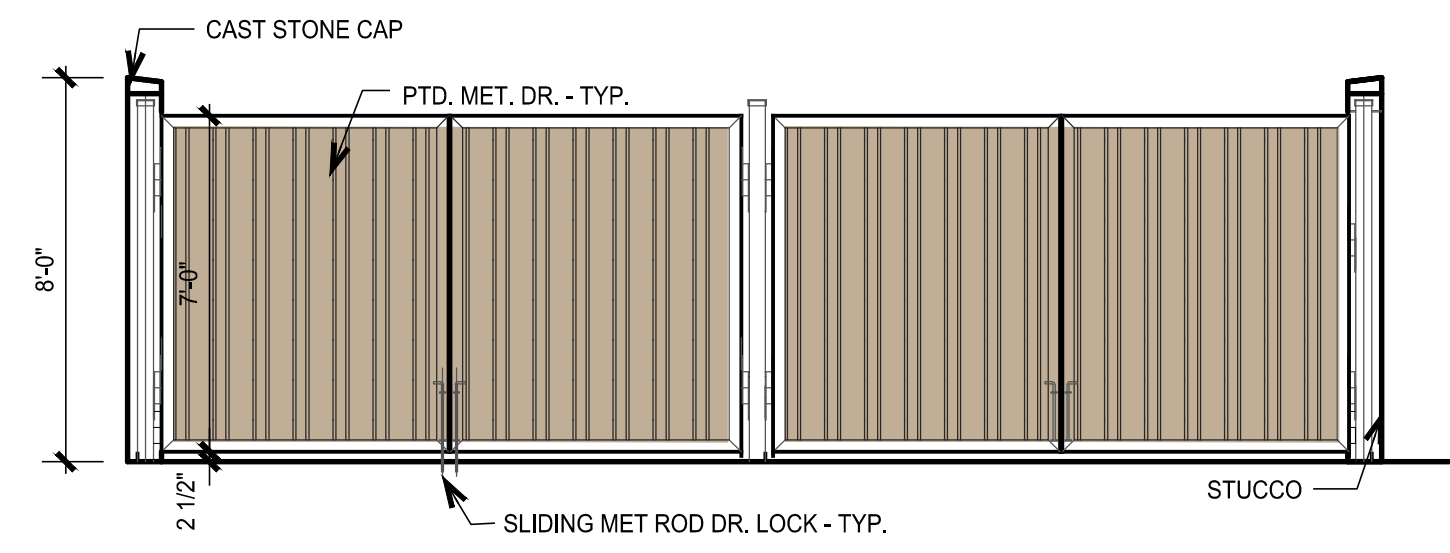
CITY SITE PLAN
 SHEET
SP-1
 File No. 2020-021
 (SP2023-032)

PLOTTED BY: 014-MIKE
 PLOT DATE: 8/18/2023 11:09 AM
 LOCATION: Z:\ARCHITURE\ACTIVE\CLAY COOLEY\HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CONSULTANTS\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
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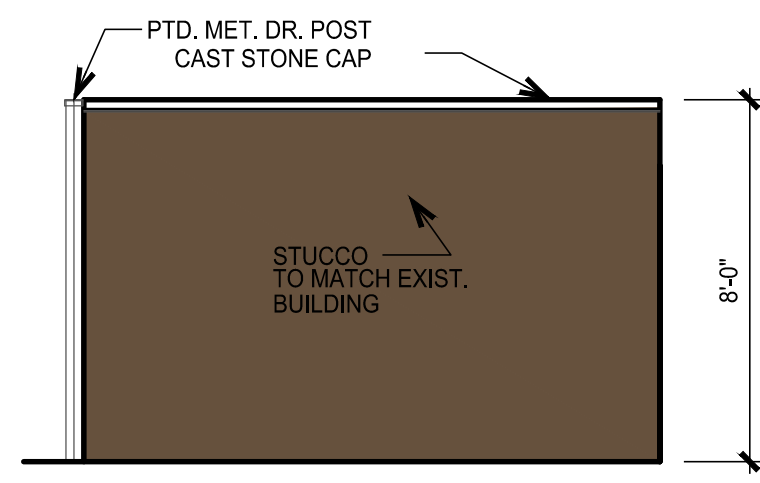


Add note regarding the oil/water separator and dumpster drain requirement

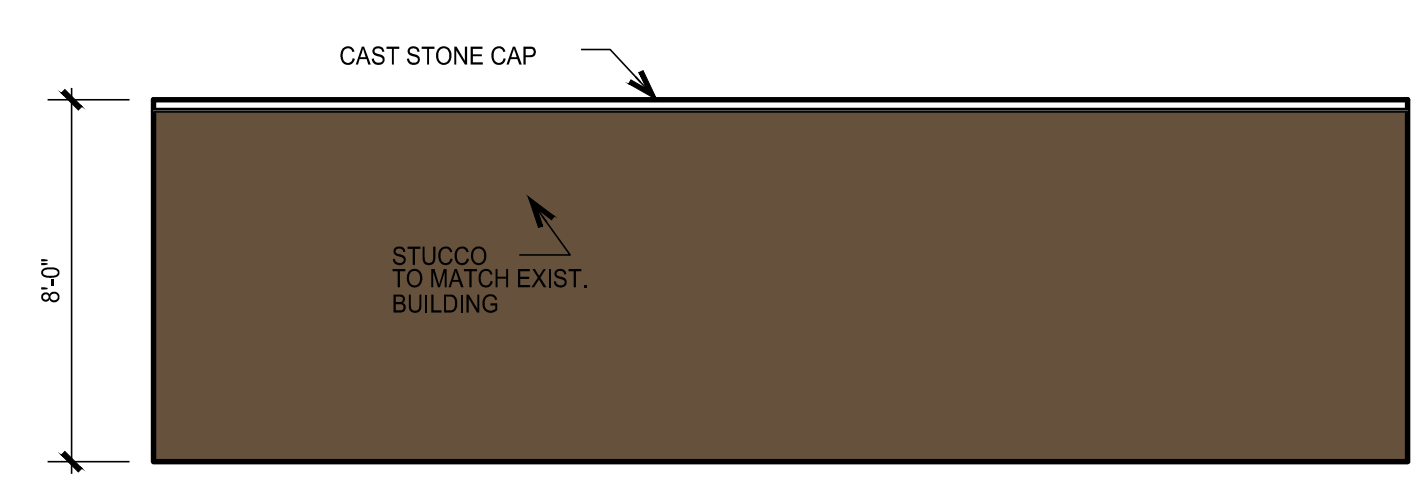
4
DUMPSTER PLAN
 SCALE: 1/4" = 1'-0"



1
DUMPSTER FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2
DUMPSTER SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



3
DUMPSTER REAR ELEVATION
 SCALE: 1/4" = 1'-0"



CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEG CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT QUANTITIES, THE CONTRACTOR SHALL REFER TO THE LEG CALLOUTS FOR INDIVIDUAL SYMBOLS OR CALLOUT (FOR GROUNDCOVER PATTERNS) PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE	
SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	Cercis canadensis 'Texana'	Texas Redbud	6'-8" high	Per plan	17	Accent Tree
ILVO	Ilex vomitoria	Yaupon Holly	6'-8" high	Per plan	42	Accent Tree
QUBU	Quercus buckleyi	Texas Red Oak	5" cal., 12'-15' high	Per plan	7	Canopy Tree
QUVI	Quercus virginiana	Live Oak	5" cal., 12'-15' high	Per plan	12	Canopy Tree
ULCR	Ulmus crassifolia	Cedar Elm	5" cal., 12'-15' high	Per plan	43	Canopy Tree
SHRUBS						
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4' o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PILC-III'	Purple Daydream Loropetalum	7 gallon	3' o.c.	43	
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	~ 24,885 SF	
	Dam Slope Mix (Contact Native American Seed)		Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

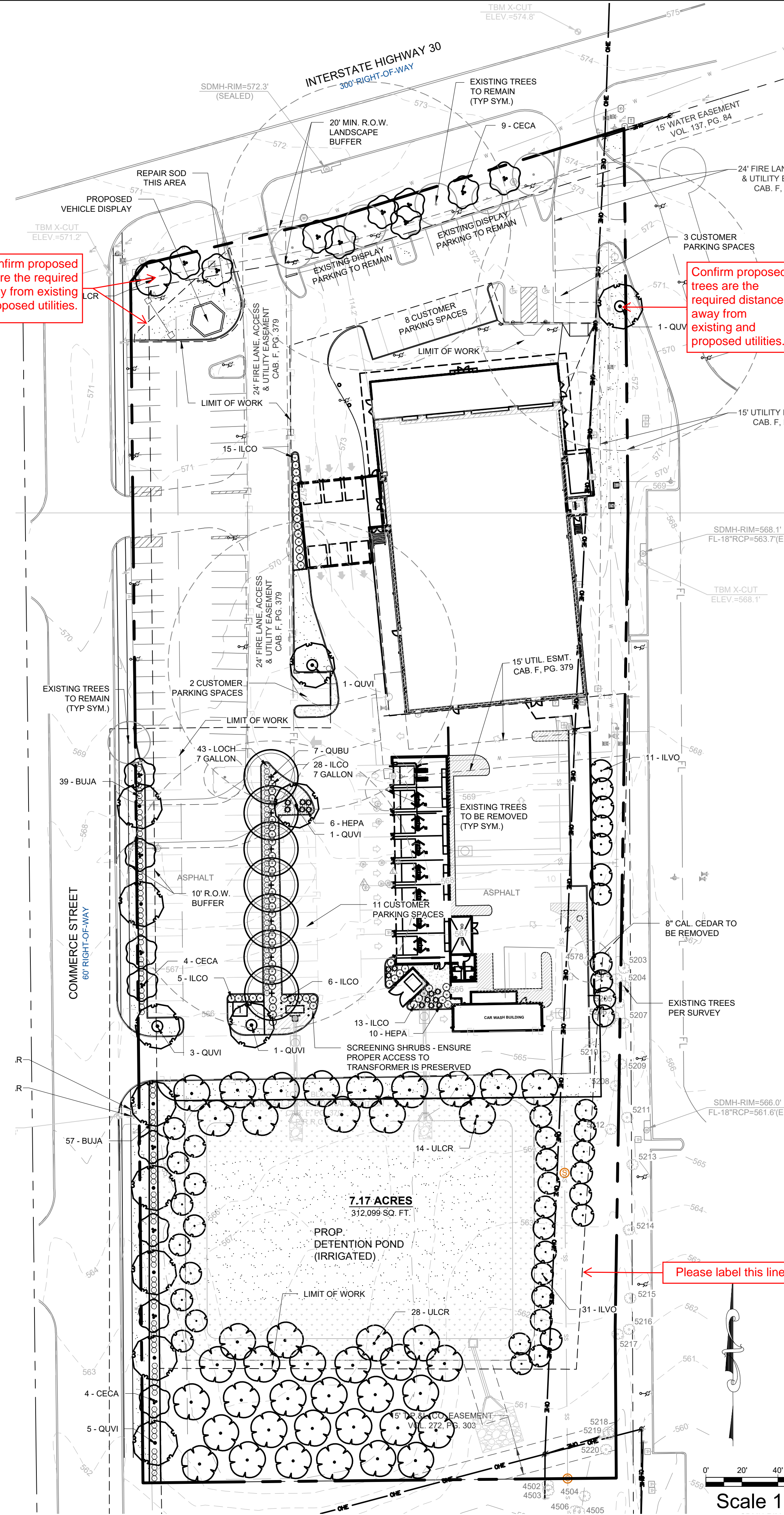
LANDSCAPE STANDARDS

08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
COMMERCE STREET: ±398' OF STREET FRONTAGE	10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
PROVIDED IN 10' BUFFER:	8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER
05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY REQ. LANDSCAPE BUFFER:	20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
±237 ROADWAY FRONTAGE REQ. PLANTING: PROVIDED IN 20' BUFFER, EXISTING: PROPOSED IN 20' BUFFER:	4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES 4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY 1 CEDAR ELM + 9 REDBUDS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING:	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
PROVIDED SCREENING:	A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
REQUIRED SCREENING OF SERVICE BAYS:	TEXAS RED OAK TREES, DWARF BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.
PROVIDED SCREENING:	TEXAS RED OAK TREES, DWARF BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.

05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT	TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	312,099 SF 62,420 SF (20%) ±79,574 SF (25%)
LOCATION OF LANDSCAPING:	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.	
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA	
DETENTION BASINS DETENTION BASIN AREA: REQUIRED TREES: PROVIDED TREES:	MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF ±31,539 SF 42 CANOPY TREES & 42 ACCENT TREES 42 CEDAR ELM & 42 YAUPON HOLLY	
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA. I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____	
PROPOSED CUSTOMER PARKING AREA: PROPOSED DISPLAY PARKING AREA: REQ. PARKING LOT LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	27 (2 ADA) SPACES, ±20,759 SF 87 SPACES, ±27,124 SF 1,038 SF (5%) 3,734 SF (18%) REQ. PARKING SPACES MUST BE WITHIN 80' OF HANDS THIS _____ DAY OF _____	

PLANNING AND ZONING COMMISSION, CHAIRMAN

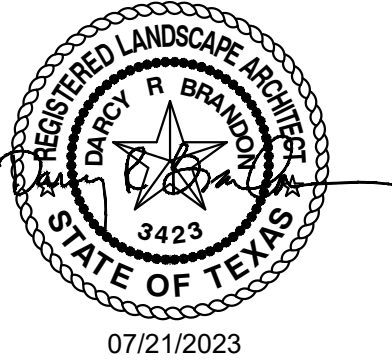
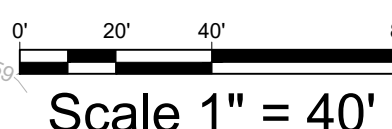
DIRECTOR OF PLANNING AND ZONING



Confirm proposed trees are the required distance away from existing and proposed utilities.

Also, confirm proposed trees are the required distance away from existing and proposed utilities.

Please label this line.



EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

CLAY MOORE ENGINEERING

1903 CENTRAL DR. SUITE 400E
ROCKWALL, TX 75087
PHONE: (972) 801-0972
WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
DREW DONOSKY
Engineer, No. 125651, Date: 7/21/2023
17212023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

LANDSCAPE PLANTING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	02-02-2020
SHEET	
LP-1	
File No.	2020-021

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 7/21/2023 9:14 AM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2021\EDG\COOLEY HYUNDAI - ROCKWALL, TX\COOLEY HYUNDAI - ROCKWALL LP_2023-07-20.DWG
 LAST SAVED: 7/21/2023 9:14 AM



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, Tx

SUBDIVISION Rockwall Recreational Addition

LOT 1&2 BLOCK 1

GENERAL LOCATION IH30 & Clay Cooley Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Auto Deal

PROPOSED ZONING

PROPOSED USE Auto Dealer

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall LLC

APPLICANT ClayMoore Engineering

CONTACT PERSON Chase Cooley

CONTACT PERSON Lynn Rowland

ADDRESS PO Box 570809

ADDRESS 1903 Central Drive Suite 406

CITY, STATE & ZIP Dallas, Tx 75357

CITY, STATE & ZIP Bedford, Tx

PHONE 214.597.8697

PHONE 817.281.0572

E-MAIL

E-MAIL Lynn@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

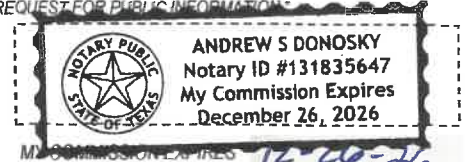
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chase Cooley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

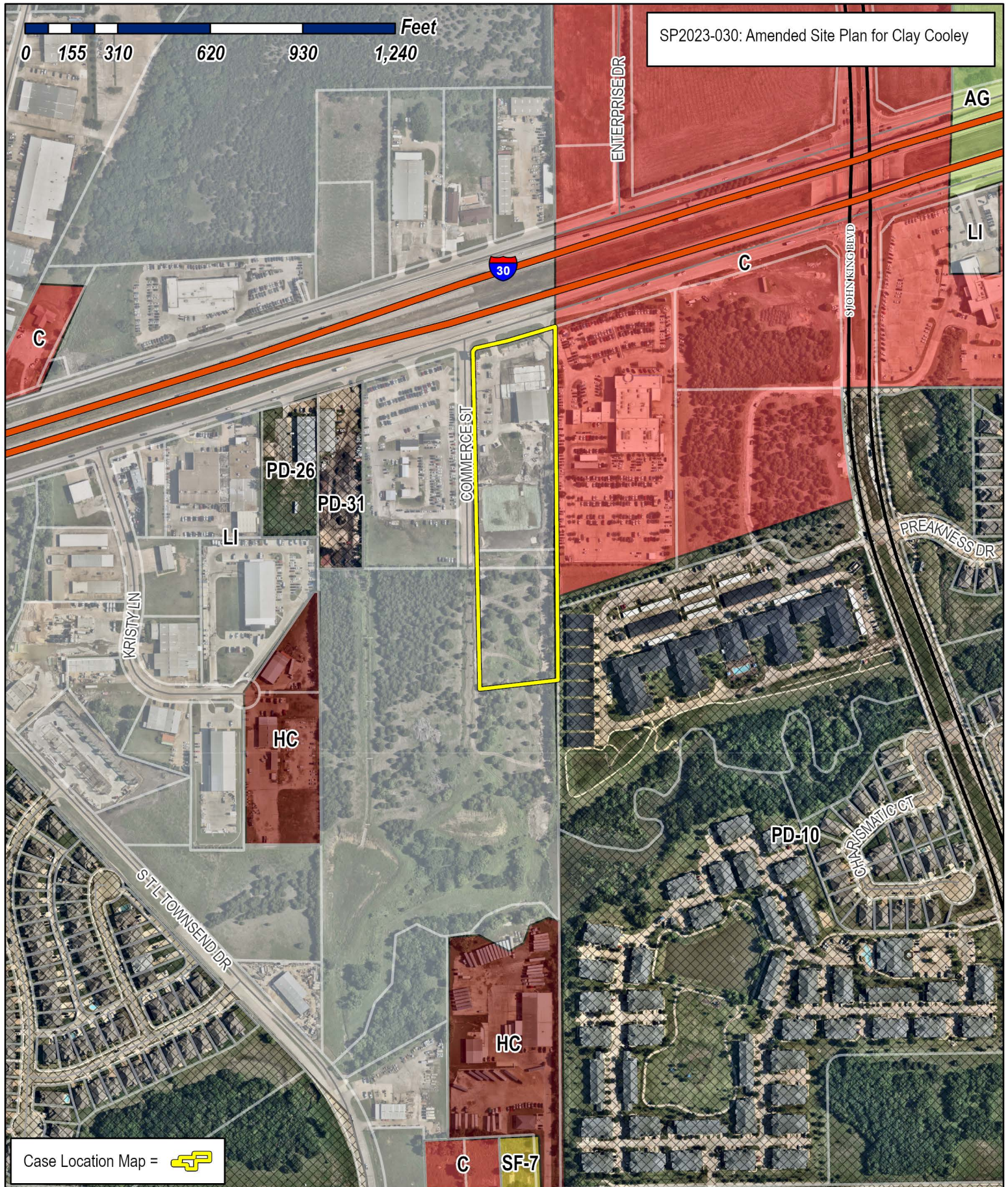
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 180 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



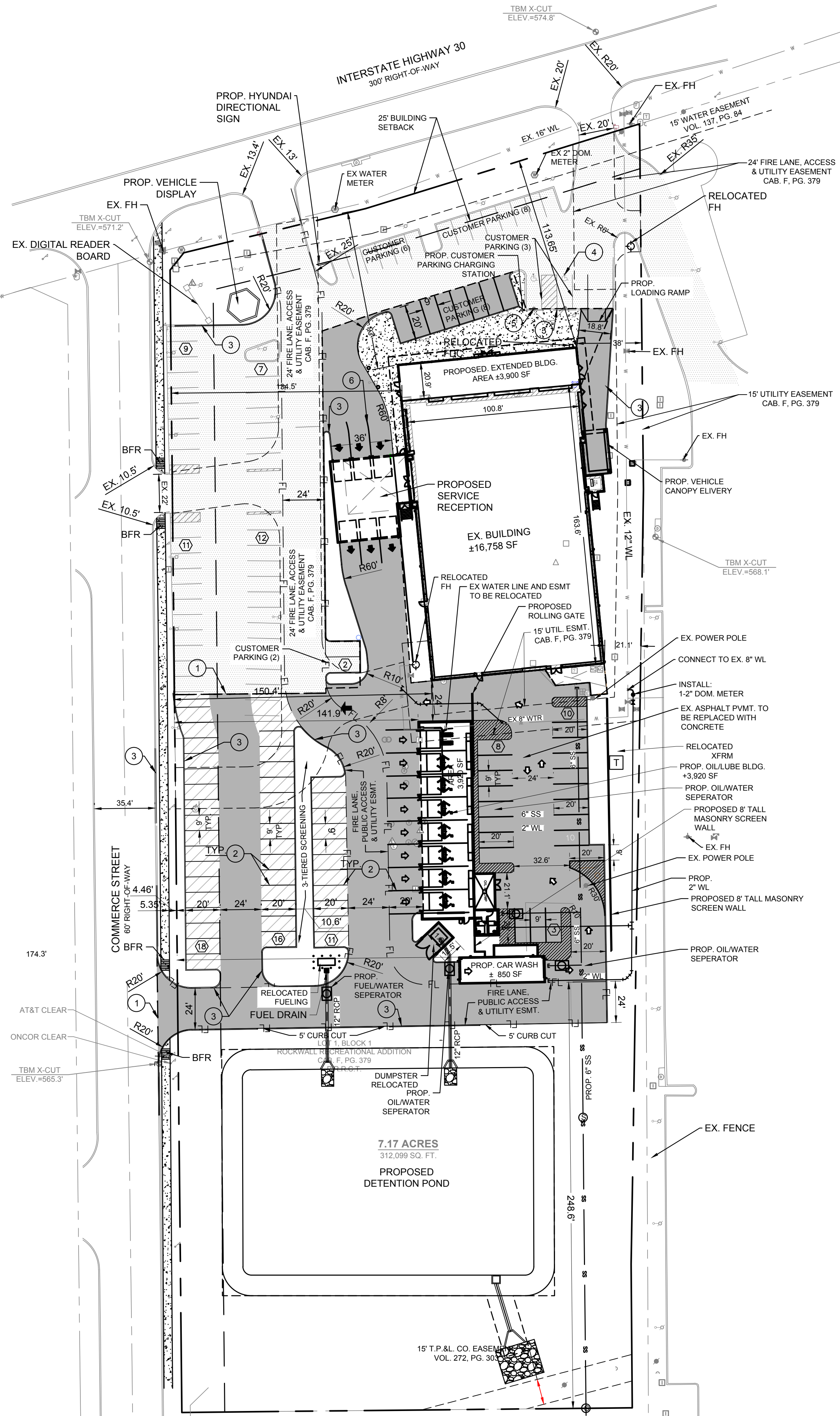
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



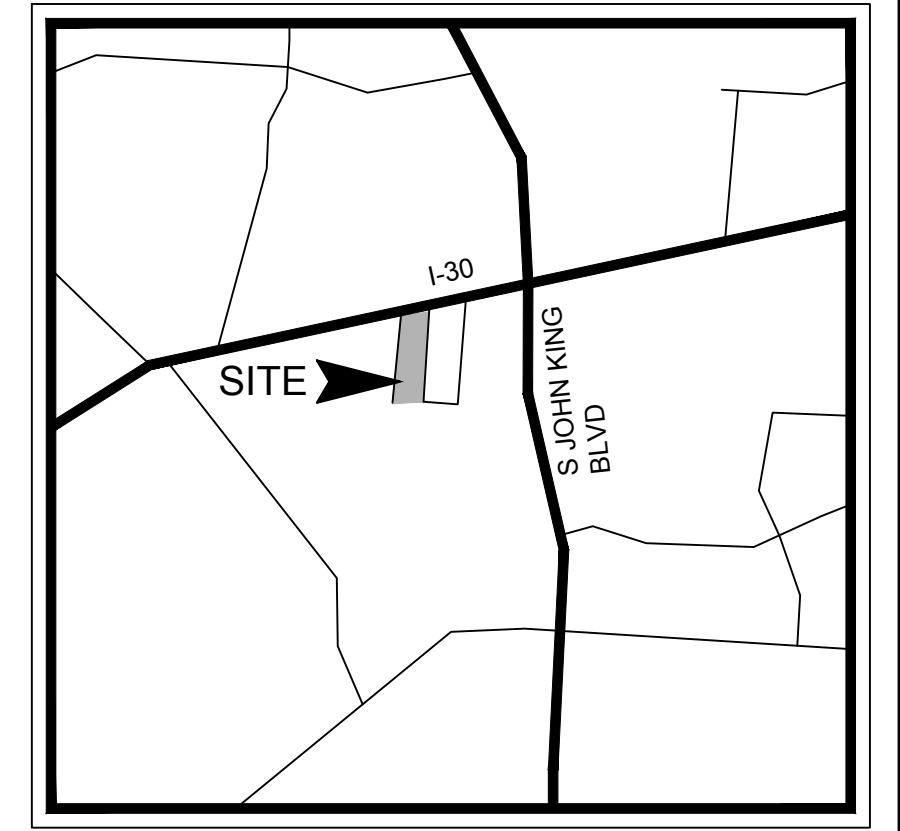
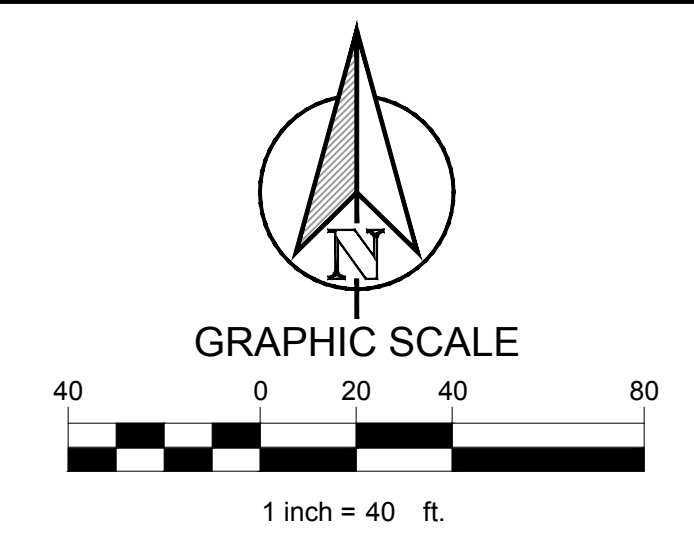
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 PLOT DATE: 8/18/2023 12:02 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG
 LAST SAVED: 7/21/2023 8:01 AM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,099 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,920 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07 : 1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/ 250 SF	16 SPACES
OFFICE SF 1/ 300 SF	5 SPACES
2 PER 2 BAY	16 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	66 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
SERVICE/STORAGE PARKING	21 SPACES

CONSTRUCTION SCHEDULE	
	EXISTING CONCRETE PAVEMENT
	FIRE LANE AND DRIVE AISLE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE
	PROPOSED SAWCUT
	PARKING COUNT



CONSTRUCTION SCHEDULE	
①	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CONCRETE CURB & GUTTER
④	EX. HANDICAP SYMBOL
⑤	EX. HANDICAP SIGN
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. PROPOSED BOLLARD

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - ALL DUMPSTERS TO HAVE SELF LATCHING GATES. ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.

CLAY COOLEY HYUNDAI ROCKWALL, TX 75087 <small>LEGAL DESCRIPTION AND OR ADDRESS:</small> ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF)
<small>OWNER:</small> CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062
<small>APPLICANT:</small> CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
<small>CASE NUMBER</small> Z2021-049
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.
WITNESS OUR HANDS THIS ____ DAY OF _____.
<small>DESIGN:</small> LRR <small>DRAWN:</small> LRR <small>CHECKED:</small> CLC <small>DATE:</small> 8/18/2023 SHEET SP-1 <small>File No. 2020-021</small>

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENR.COM

STATE OF TEXAS
 DREW DONOSKY
 25861
 LICENSED PROFESSIONAL ENGINEER
 8/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

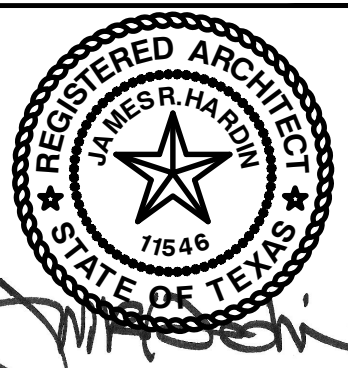
CITY SITE PLAN

PLOTTED BY: 014-MIKE
 PLOT DATE: 8/18/2023 11:09 AM
 LOCATION: Z:\ARCHITECTURE\ACTIVE\CLAY COOLEY HYUNDAI\DRAWING FILES\CONSULTANTS\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
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TEXAS REGISTRATION #14199

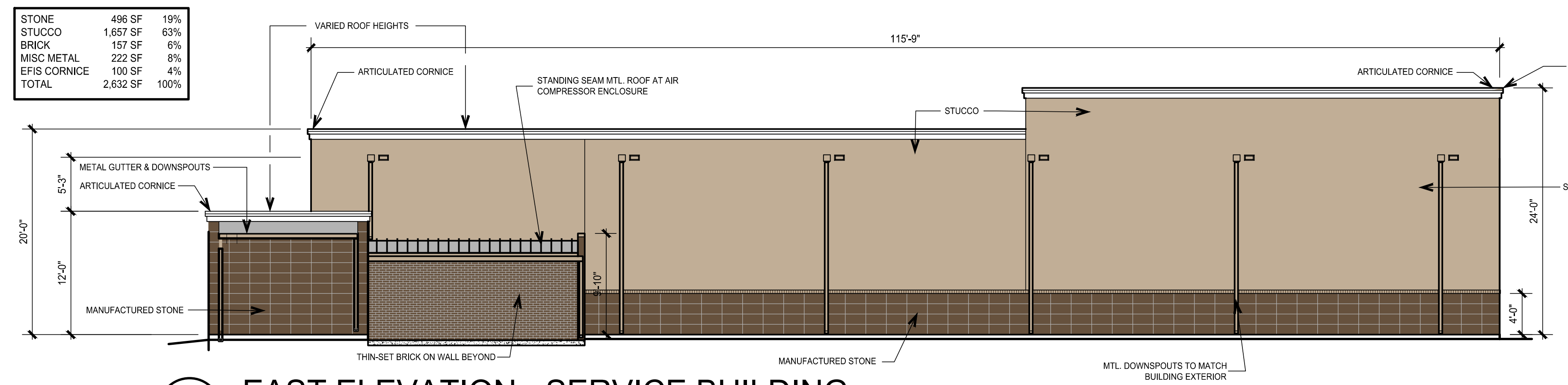


KLING HARDIN
 ARCHITECTURE - PLANNING - INTERIORS
 701 CANYON DRIVE - SUITE 110
 COPPELL, TX 75019
 972-331-5699

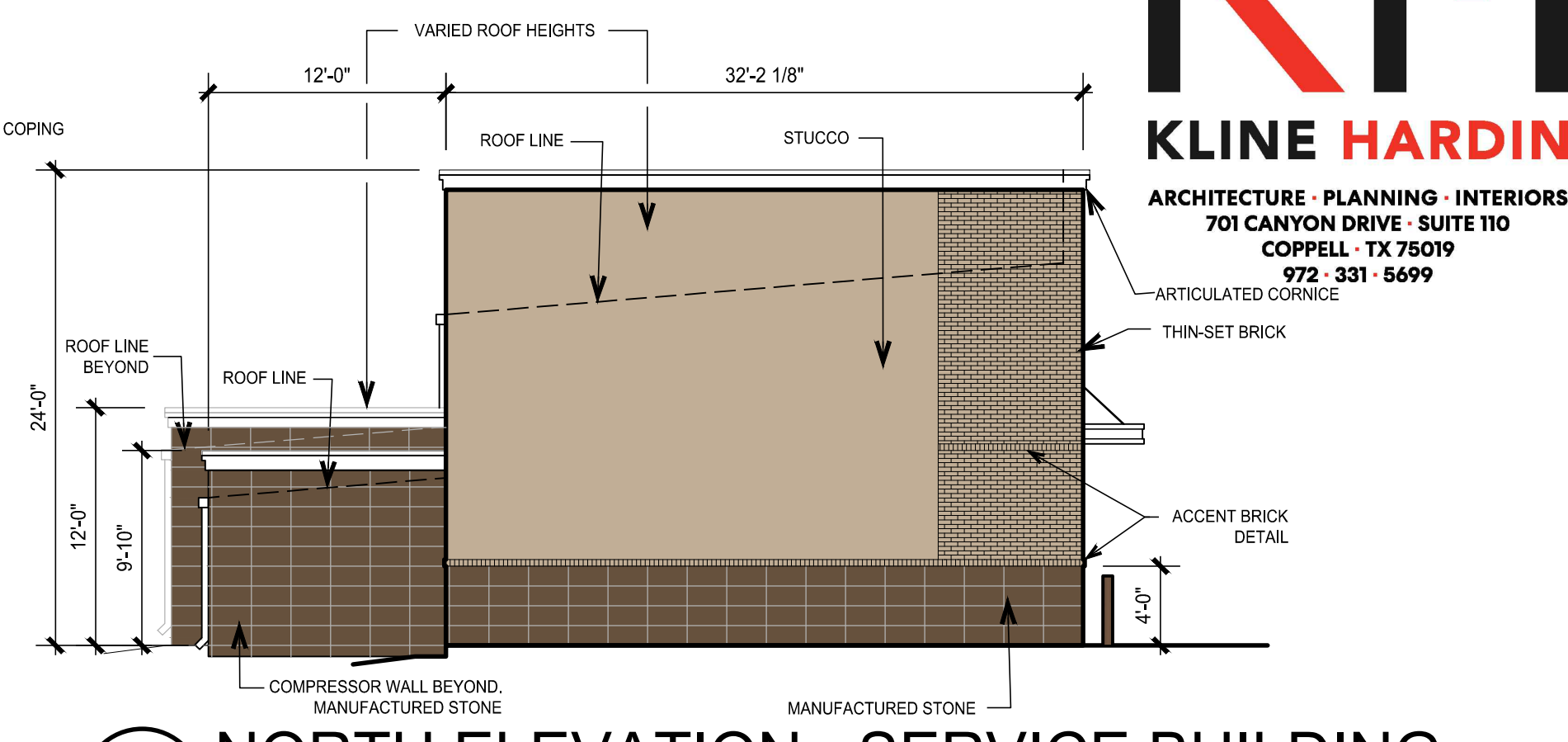


CLAY COOLEY HYUNDAI
 1540 I-30
 ROCKWALL, TX 75087

STONE	496 SF	19%
STUCCO	1,657 SF	63%
BRICK	157 SF	6%
MISC METAL	222 SF	8%
EFIS CORNICE	100 SF	4%
TOTAL	2,632 SF	100%

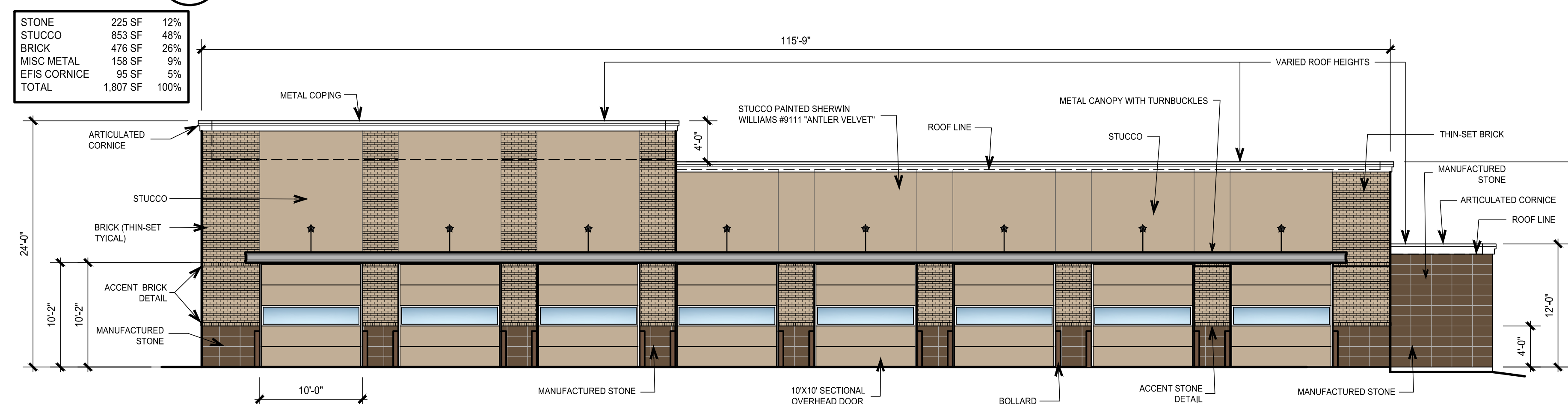


8 EAST ELEVATION - SERVICE BUILDING
 SCALE 1/8"=1'-0"



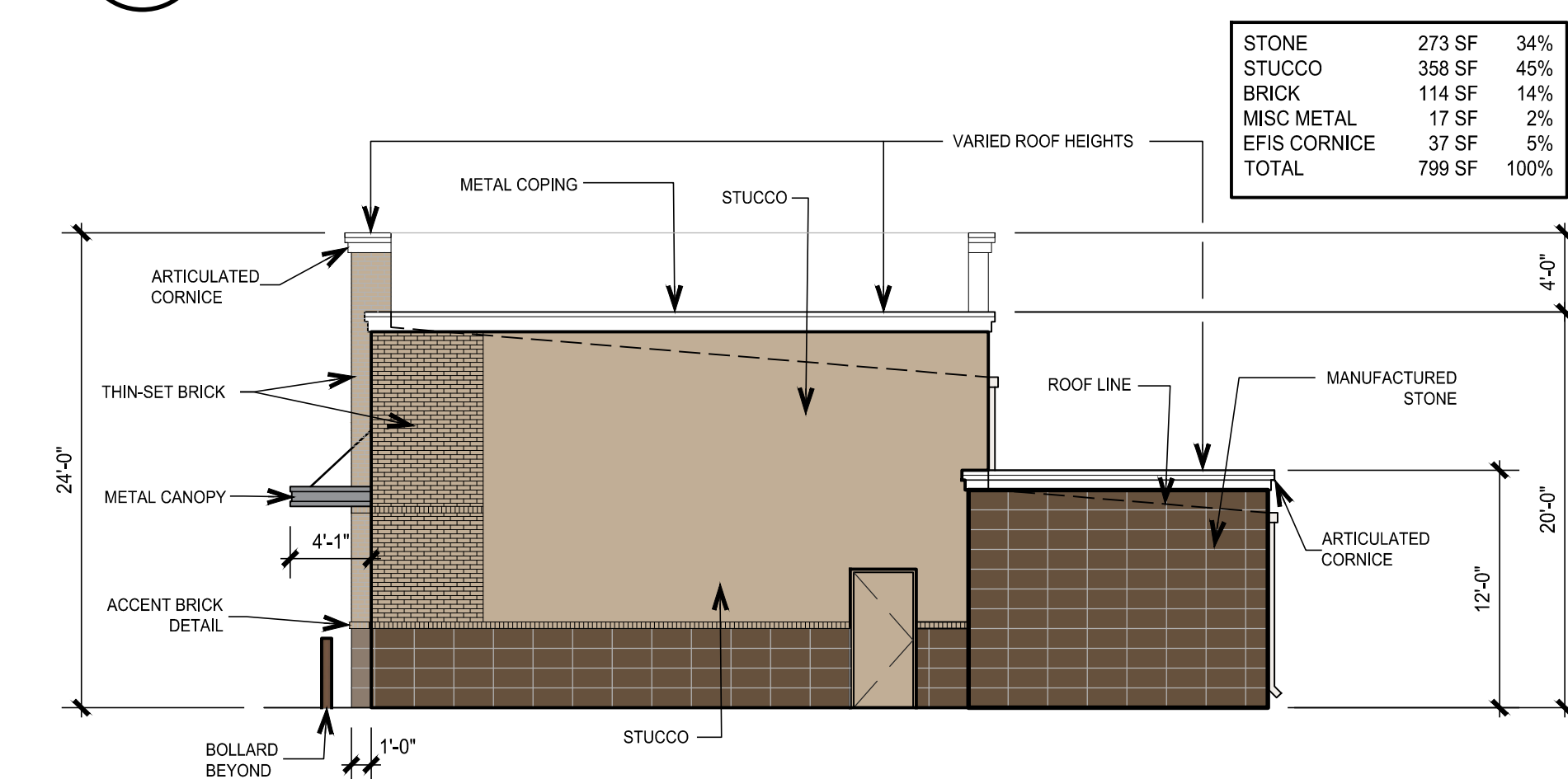
7 NORTH ELEVATION - SERVICE BUILDING
 SCALE 1/8"=1'-0"

STONE	225 SF	12%
STUCCO	853 SF	48%
BRICK	476 SF	23%
MISC METAL	158 SF	9%
EFIS CORNICE	95 SF	5%
TOTAL	1,807 SF	100%



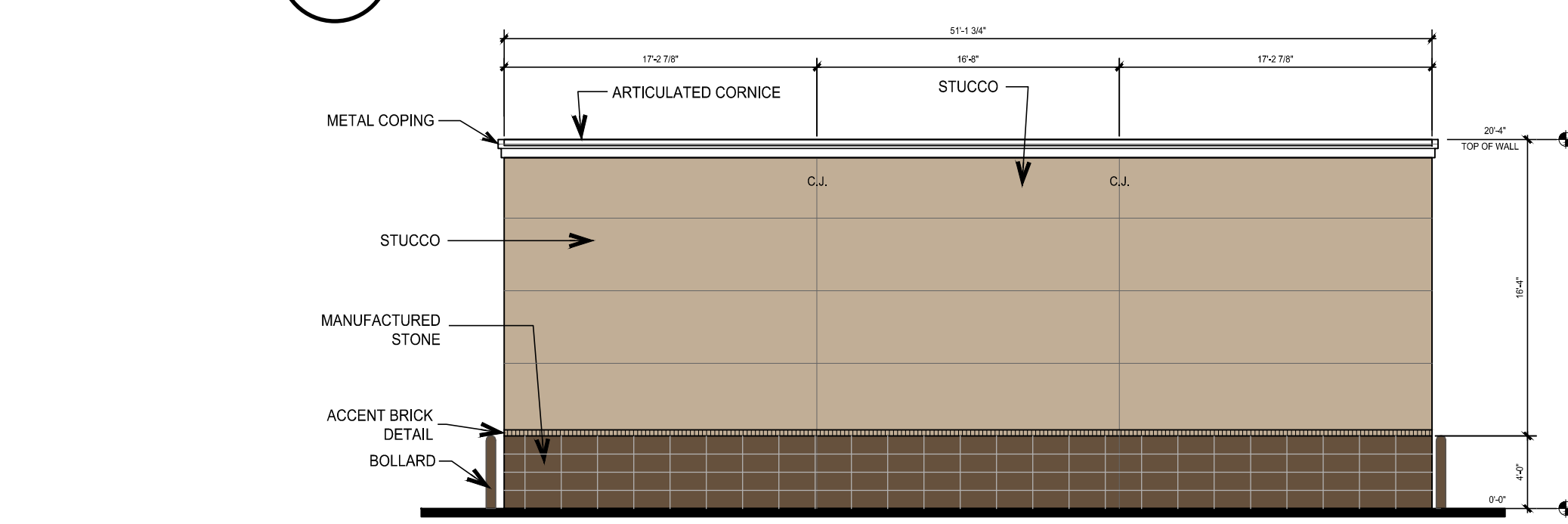
6 WEST ELEVATION - SERVICE BUILDING - FACES COMMERCE STREET
 SCALE 1/8"=1'-0"

STONE	273 SF	34%
STUCCO	358 SF	45%
BRICK	114 SF	14%
MISC METAL	17 SF	2%
EFIS CORNICE	37 SF	5%
TOTAL	799 SF	100%



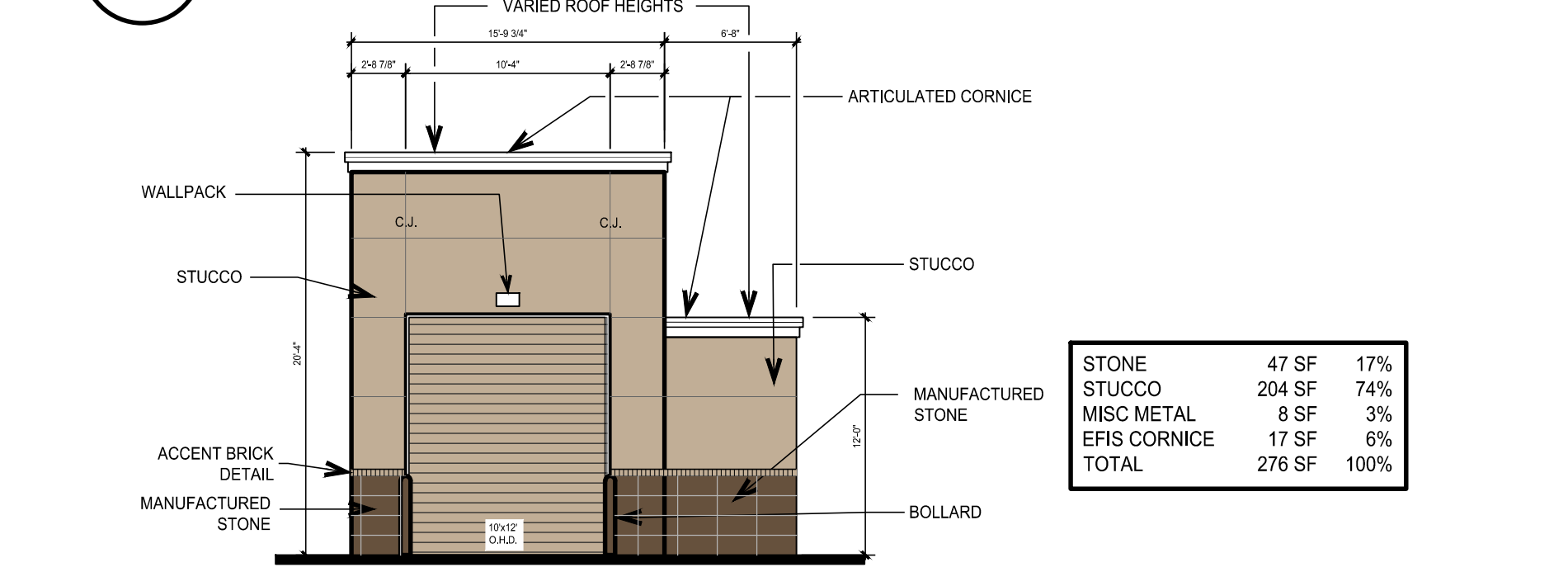
5 SOUTH ELEVATION - SERVICE BUILDING
 SCALE 1/8"=1'-0"

STONE	205 SF	20%
STUCCO	784 SF	75%
MISC METAL	12 SF	1%
EFIS CORNICE	39 SF	4%
TOTAL	1,040 SF	100%



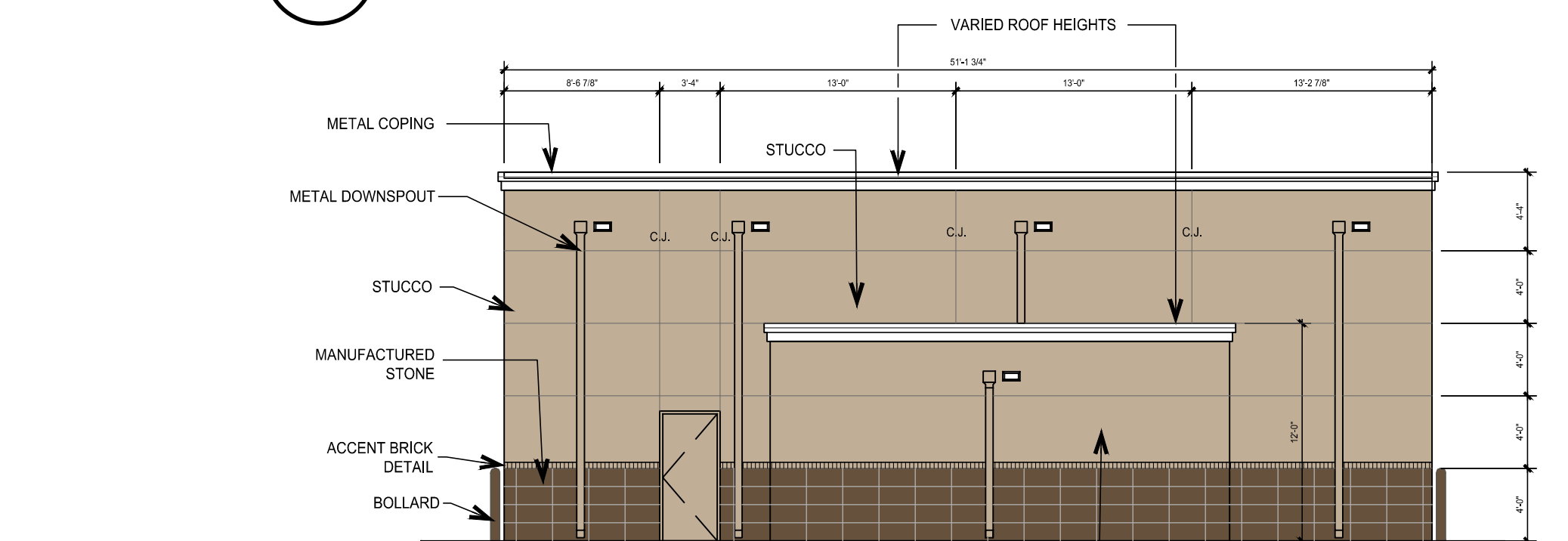
4 SOUTH ELEVATION - CAR WASH
 SCALE 1/8"=1'-0"

STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%



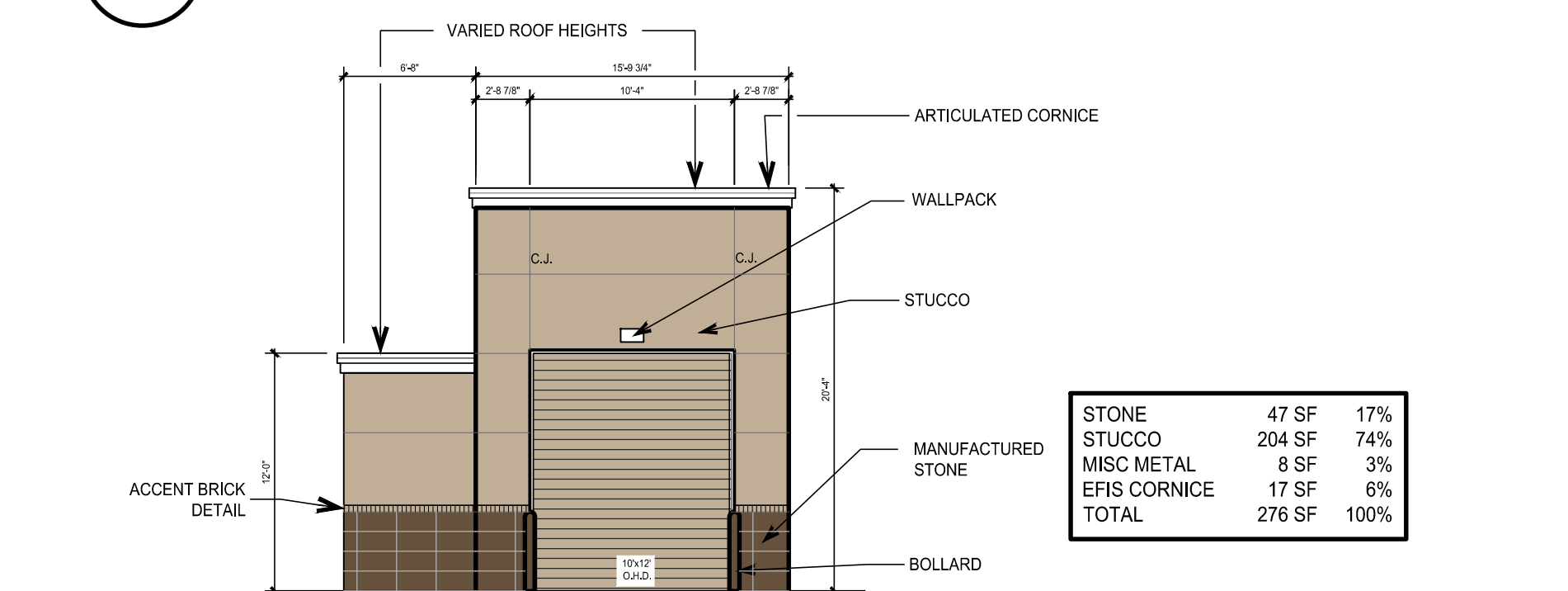
3 EAST ELEVATION - CAR WASH
 SCALE 1/8"=1'-0"

STONE	185 SF	18%
STUCCO	723 SF	71%
MISC METAL	50 SF	5%
EFIS CORNICE	58 SF	6%
TOTAL	1,016 SF	100%



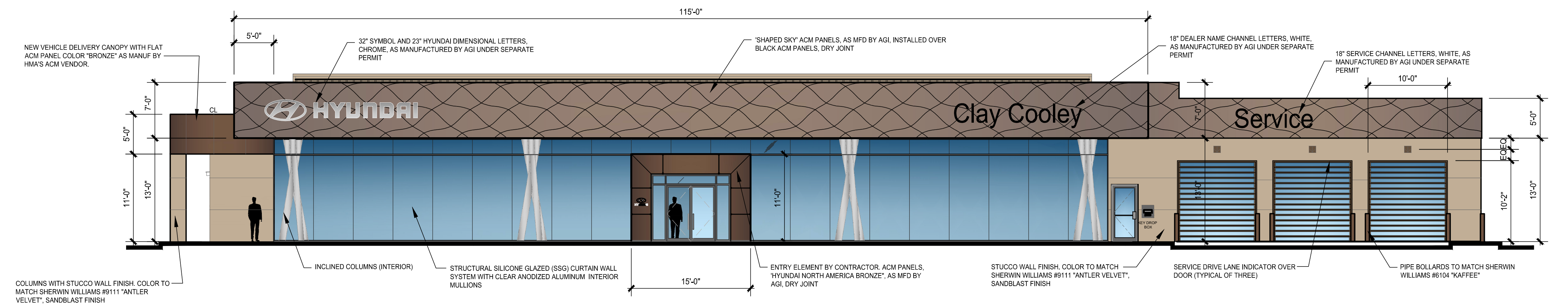
2 NORTH ELEVATION - CAR WASH
 SCALE 1/8"=1'-0"

STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%

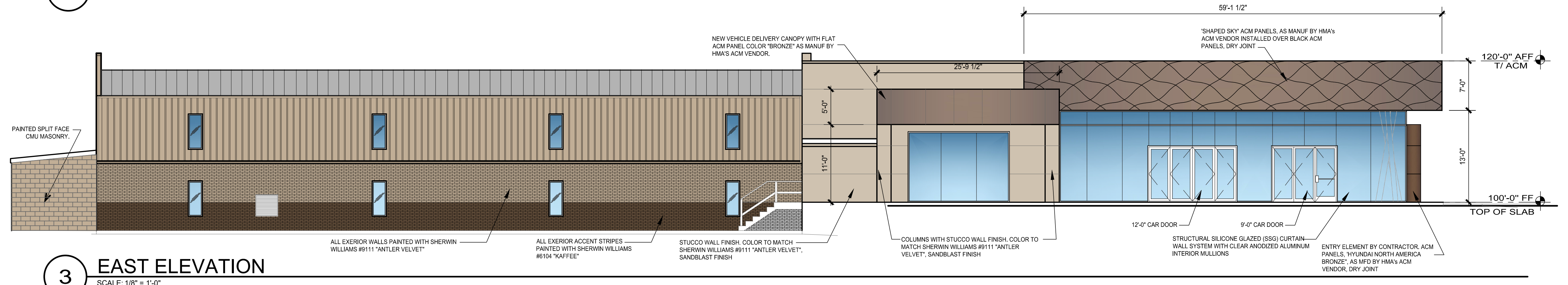


1 WEST ELEVATION - CAR WASH
 SCALE 1/8"=1'-0"

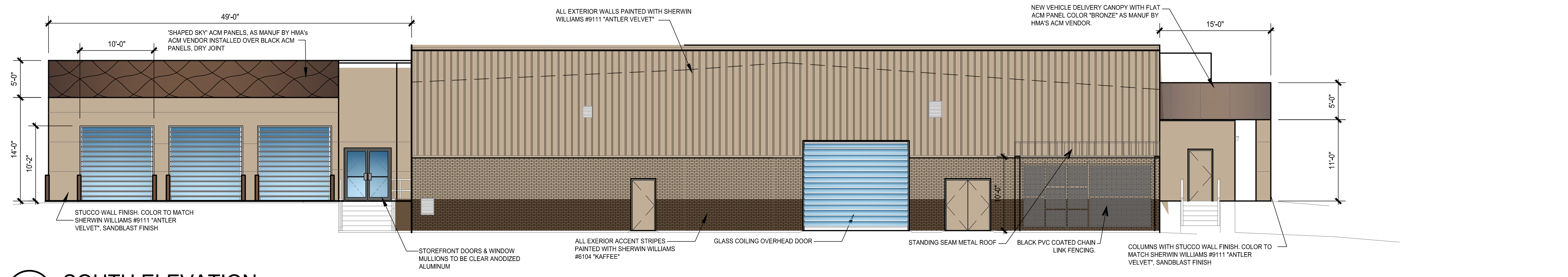
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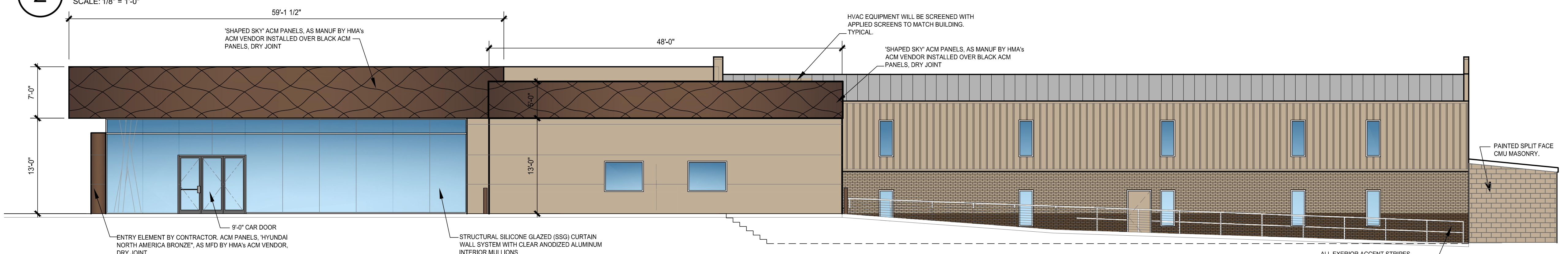
4 NORTH ELEVATION - FACES I-30
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

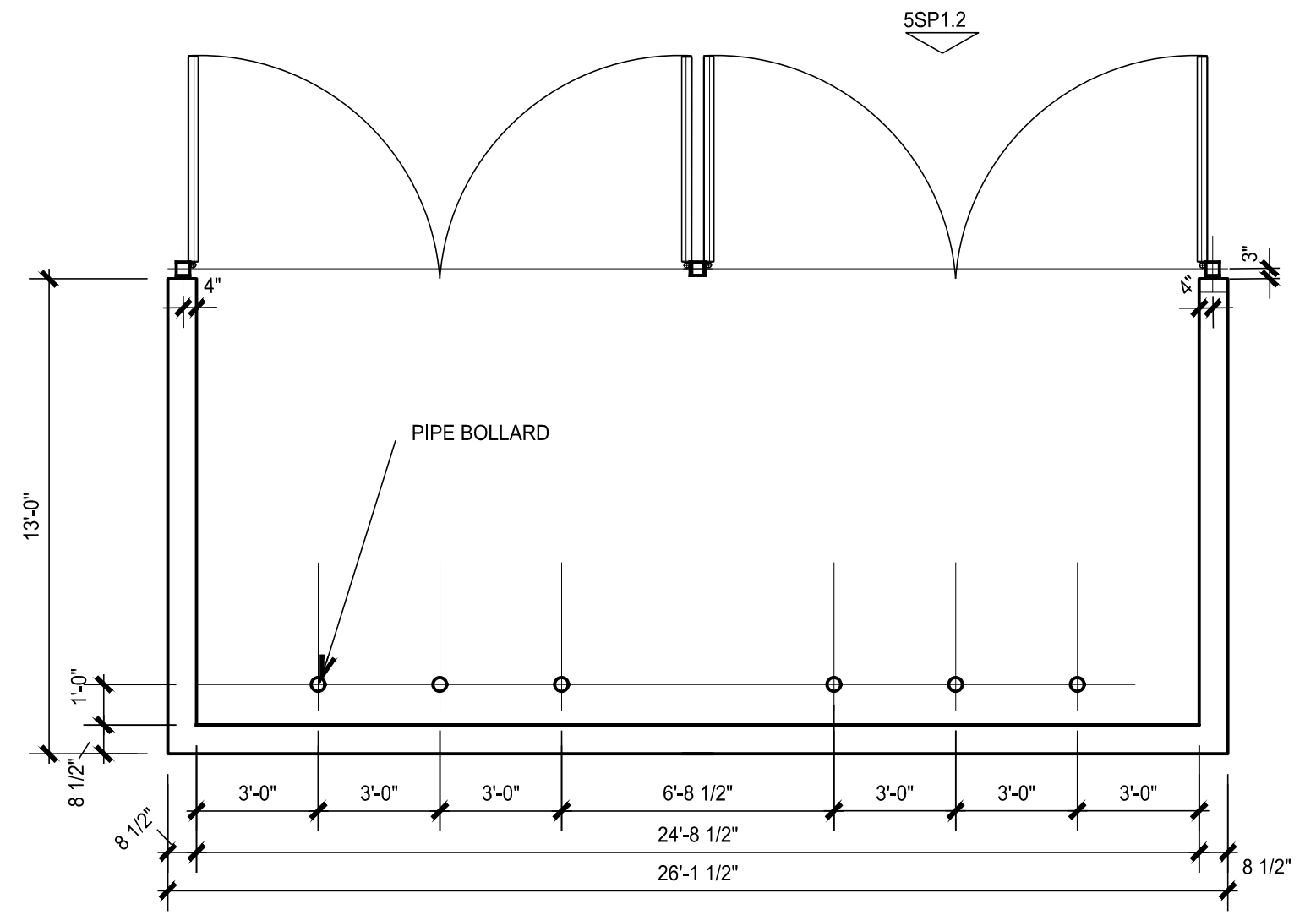


1 WEST ELEVATION - FACES COMMERCE STREET
SCALE: 1/8" = 1'-0"

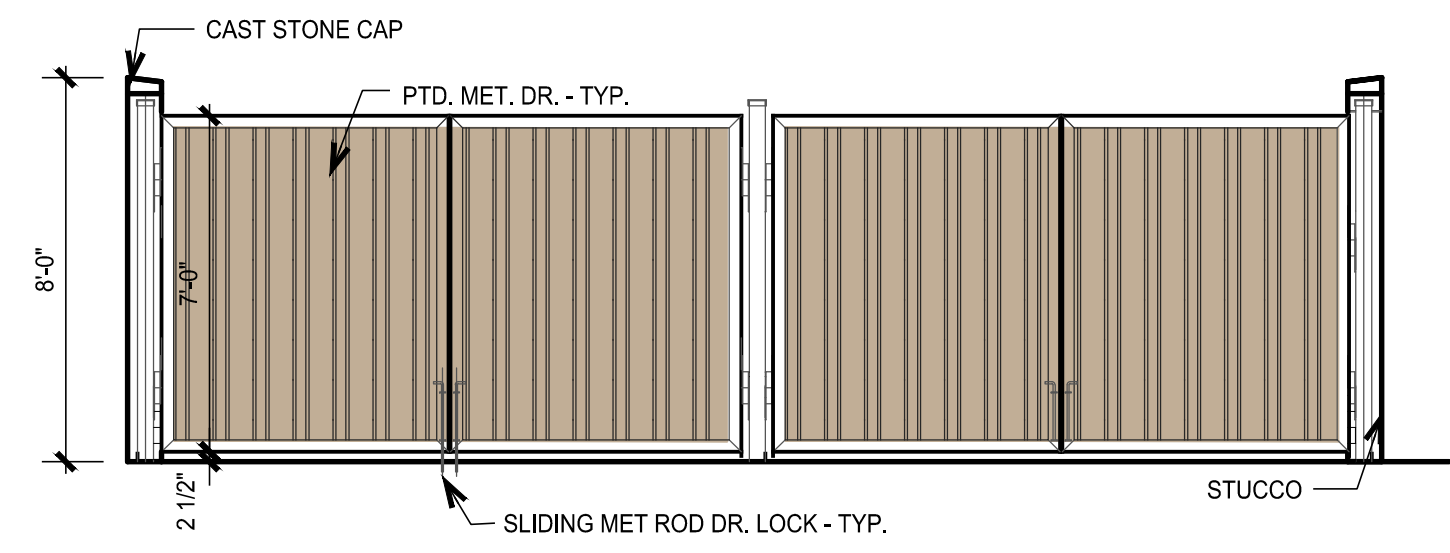


CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

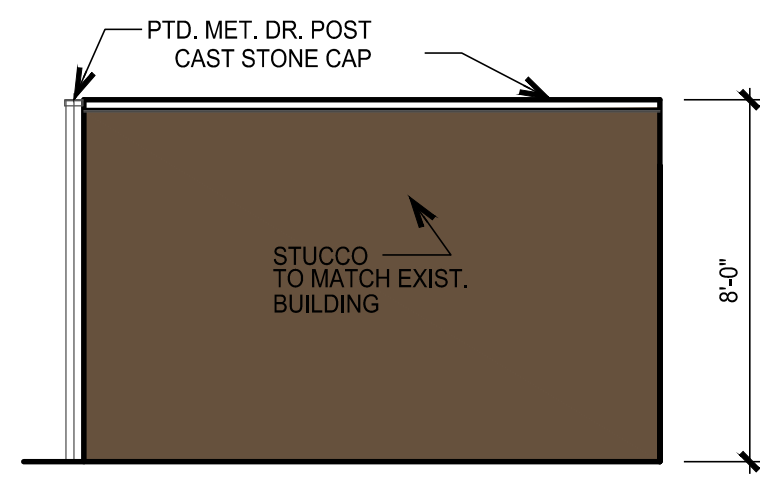
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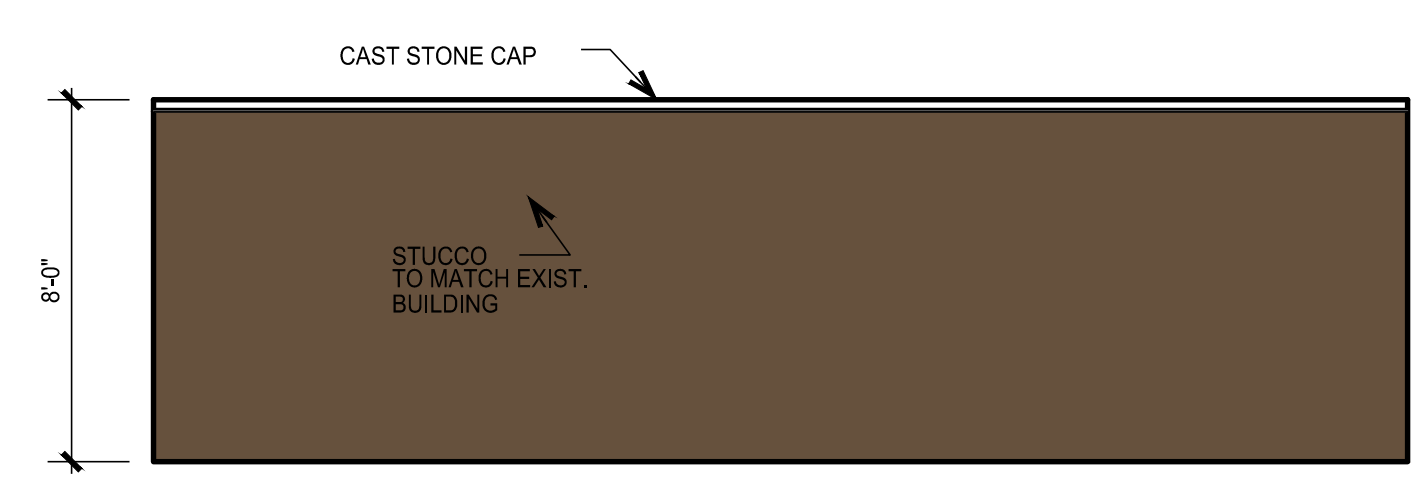
4
DUMPSTER PLAN
 SCALE: 1/4" = 1'-0"



1
DUMPSTER FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2
DUMPSTER SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



3
DUMPSTER REAR ELEVATION
 SCALE: 1/4" = 1'-0"



CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGNOSTIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

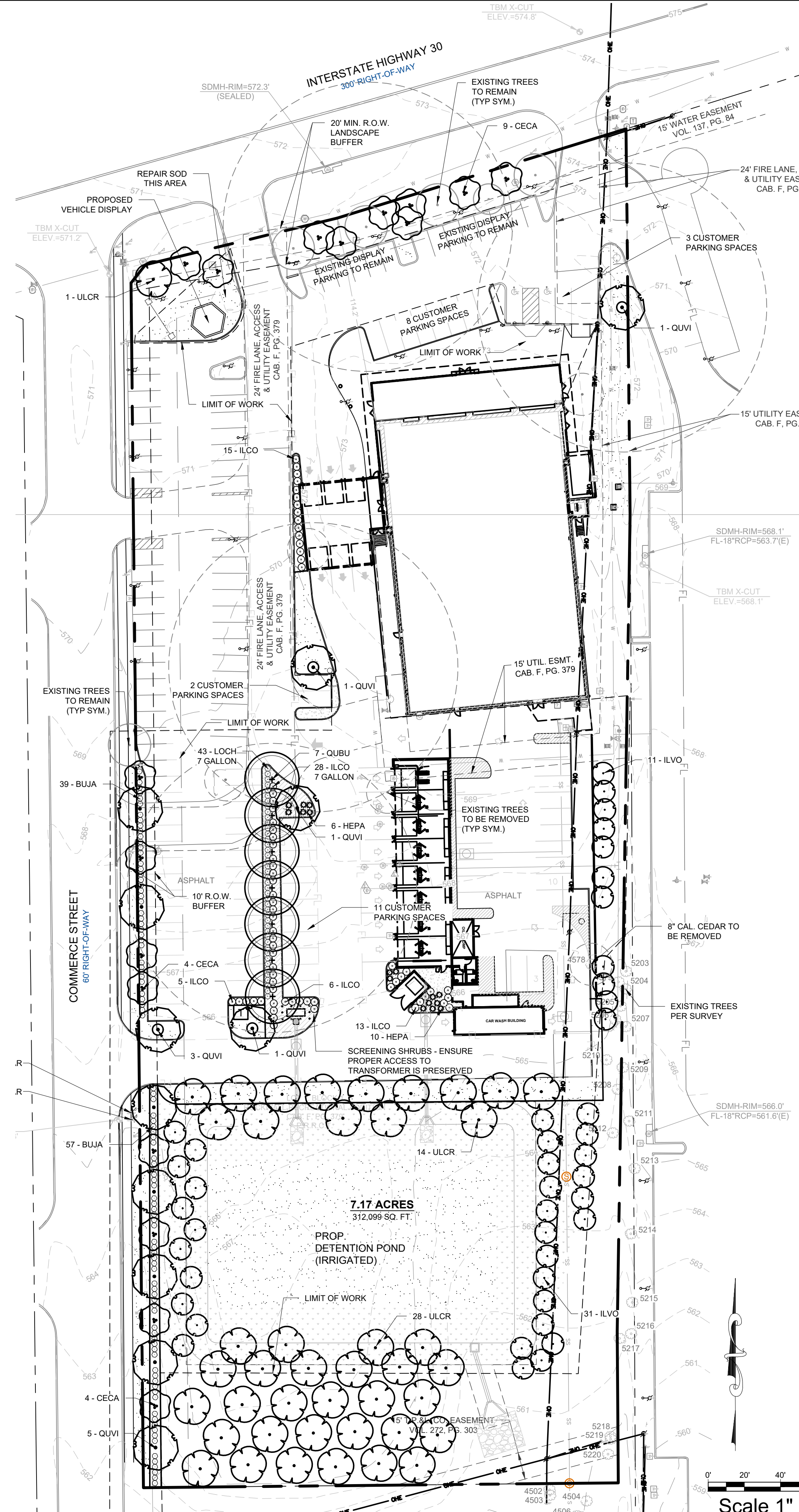
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE	
SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES



PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	Cercis canadensis 'Texana'	Texas Redbud	6'-8' high	Per plan	17	Accent Tree
ILVO	Ilex vomitoria	Yaupon Holly	6'-8' high	Per plan	42	Accent Tree
QUBU	Quercus buckleyi	Texas Red Oak	5" cal., 12'-15' high	Per plan	7	Canopy Tree
QUVI	Quercus virginiana	Live Oak	5" cal., 12'-15' high	Per plan	12	Canopy Tree
ULCR	Ulmus crassifolia	Cedar Elm	5" cal., 12'-15' high	Per plan	43	Canopy Tree
SHRUBS						
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4' o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PILC-III'	Purple Daydream Loropetalum	7 gallon	3' o.c.	43	
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	~ 24,885 SF	
		Dam Slope Mix (Contact Native American Seed)	Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

SHRUBS

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4' o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PILC-III'	Purple Daydream Loropetalum	7 gallon	3' o.c.	43	

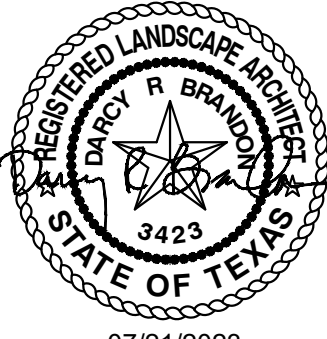
TURF AND SEED

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	~ 24,885 SF	
		Dam Slope Mix (Contact Native American Seed)	Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
COMMERCE STREET: ±398' OF STREET FRONTAGE	10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
PROVIDED IN 10' BUFFER:	8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER
05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY REQ. LANDSCAPE BUFFER:	20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
±237 ROADWAY FRONTAGE REQ. PLANTING: PROVIDED IN 20' BUFFER, EXISTING: PROPOSED IN 20' BUFFER:	4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES 4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY 1 CEDAR ELM + 9 REDBUDS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING:	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
PROVIDED SCREENING:	A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
REQUIRED SCREENING OF SERVICE BAYS:	TEXAS RED OAK TREES, DWARF BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.
PROVIDED SCREENING:	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	312,099 SF 62,420 SF (20%) ±79,574 SF (25%)
LOCATION OF LANDSCAPING:	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS DETENTION BASIN AREA: REQUIRED TREES: PROVIDED TREES:	MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF ±31,539 SF 42 CANOPY TREES & 42 ACCENT TREES 42 CEDAR ELM & 42 YAUPON HOLLY
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA. I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.
PROPOSED CUSTOMER PARKING AREA: PROPOSED DISPLAY PARKING AREA: REQ. PARKING LOT LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	27 (2 ADA) SPACES, ±20,759 SF 87 SPACES, ±27,124 SF 1,038 SF (5%) 3,734 SF (18%) REQ. PARKING SPACES MUST BE WITHIN 80' OF CANOPY TREE TRUNK



Scale 1" = 40'

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 LAST SAVED: 7/21/2023 9:14 AM

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 Addison, TX 75001
 www.EvergreenDesignGroup.com

CLAY MOORE ENGINEERING
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 ROCKWALL, TX 75087
 PHONE: (972) 981-0972
 WWW.CLAYMOOREENGINEERING.COM

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CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 DREW DONOSKY
 Engineer, No. 125651, State 7/21/2023
 7/21/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

LANDSCAPE PLANTING PLAN

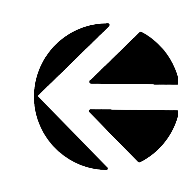
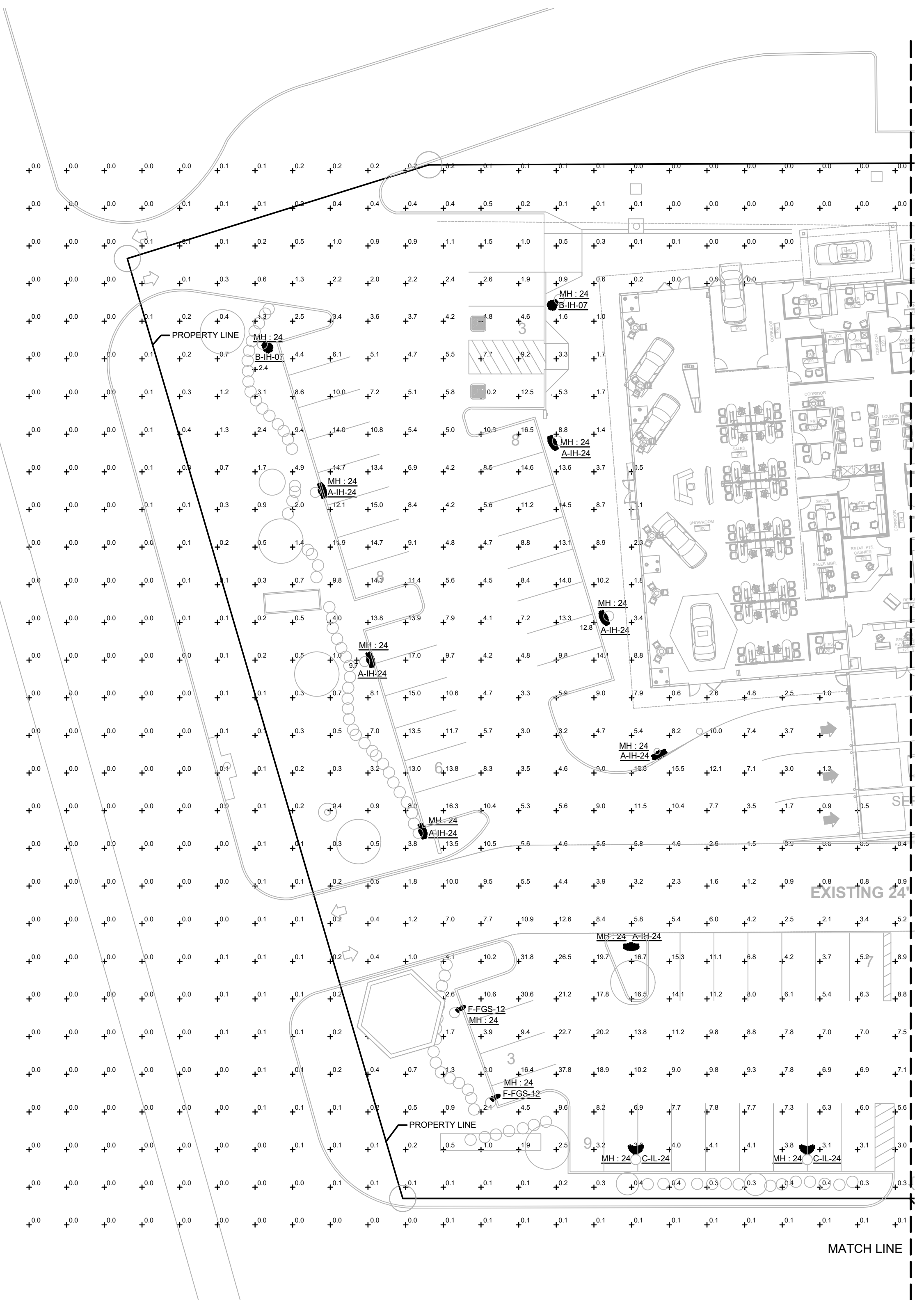
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DRAWN:	LRR
CHECKED:	CLC
DATE:	02-02-2020
SHEET	
LP-1	
File No.	2020-021

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	A-IH-24	12	LSI INDUSTRIES, INC.	MRM-LED-24L-SIL-FTA-50-70CRI-IH	1	19613	.9	176
□	B-IH-07	2	LSI INDUSTRIES, INC.	MRM-LED-07L-SIL-AM-50-70CRI-IH	1	5944	.9	48
□	C-IL-24	8	LSI INDUSTRIES, INC.	MRM-LED-24L-SIL-FT-50-70CRI-IL	1	16438	.9	176
□	D-36	2	LSI INDUSTRIES, INC.	MRM-LED-36L-SIL-FT-50-70CRI	1	38298	.9	288
□	D-IL-36	1	LSI INDUSTRIES, INC.	MRM-LED-36L-SIL-FT-50-70CRI-IL	1	24246	.9	288
□	F-FGS-12	2	LSI INDUSTRIES, INC.	PFL-LED-12L-PC-MF-50-80FGS FLOOD LIGHT MOUNTED @ 45 DEGREE ROTATION	1	12380	.9	102
□	W	10	LSI INDUSTRIES, INC.	XWM-FT-LED-03L-50	1	3296	.9	23

Statistics					
Description	Symbol	Avg	Max	Min	Mounting Heights
Calc Zone #1	+	3.4 fc	37.8 fc	0.1 fc	24'

NOTES:

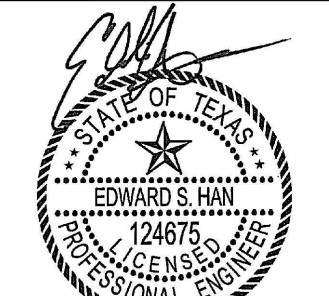
1. ALL SITE LIGHTING SHALL COMPLY WITH CITY OF ROCKWALL EXTERIOR ILLUMINATION ORDINANCES AND REGULATIONS.
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH 2018 IECC REQUIREMENTS AND REGULATIONS.
3. PHOTOMETRIC CALCULATIONS INCLUDE NEW LIGHT POLES, ALONG WITH REPLACEMENT LED HEADS ON EXISTING POLES.
4. ALL PARKING LOT POLE LIGHTING SHALL BE LED.



1

SITE PLAN - PHOTOMETRICS - AREA A

SCALE: 1" = 20'-0"



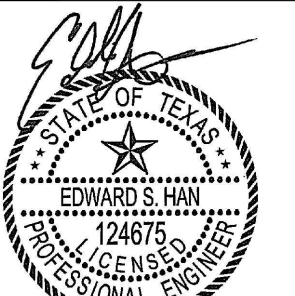
08/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

COUNSEL
MEP Engineering Services
5757 Alpha Rd., Suite 450
Dallas, Texas 75240
972.707.3540
TX Firm No. F-18894
CE #21070

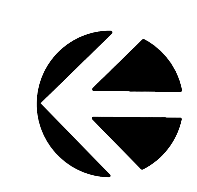
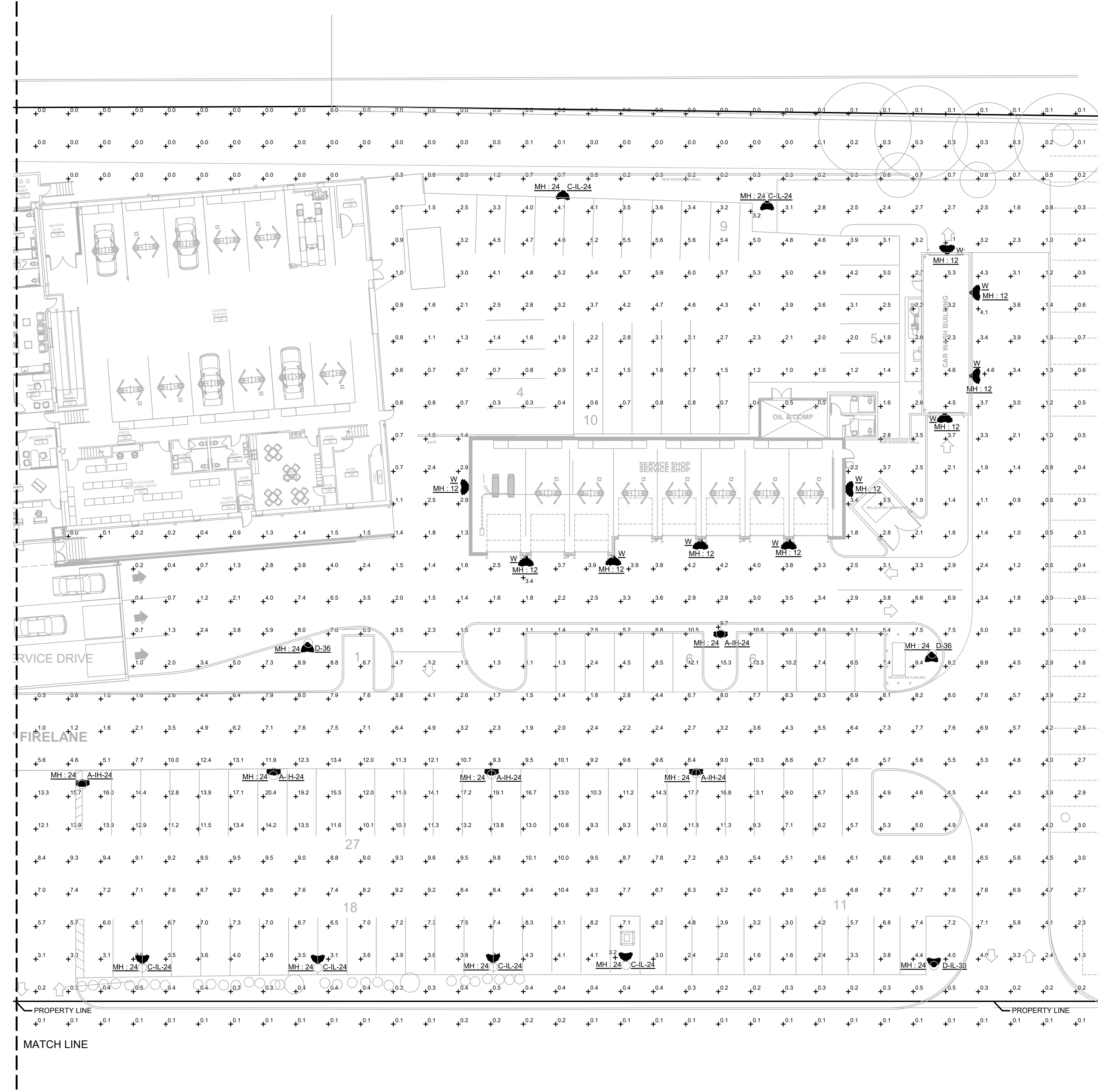
DESIGN:
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CHECKED:
DATE: 08/18/2023

SHEET
E1.02A



08/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087



1

SITE PLAN - PHOTOMETRICS - AREA B

SCALE: 1" = 20'-0"

COUNSEL
 MEP Engineering Services
 5757 Alpha Rd., Suite 450
 Dallas, Texas 75240
 972.707.3540
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DESIGN:
 DRAWN:
 CHECKED:
 DATE: 08/18/2023

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